

**BUILDING LOCATION SURVEY OF
LOTS 1, 2, 3, 4, 5 AND 6
PLAN 40M-1419
TOWN OF PICKERING
REGIONAL MUNICIPALITY OF DURHAM**



SCALE 1 : 300
ANTON KIKAS LIMITED
ONTARIO LAND SURVEYORS , 1988

METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

RECEIVED

October 7, 2021
City of Pickering Building Section

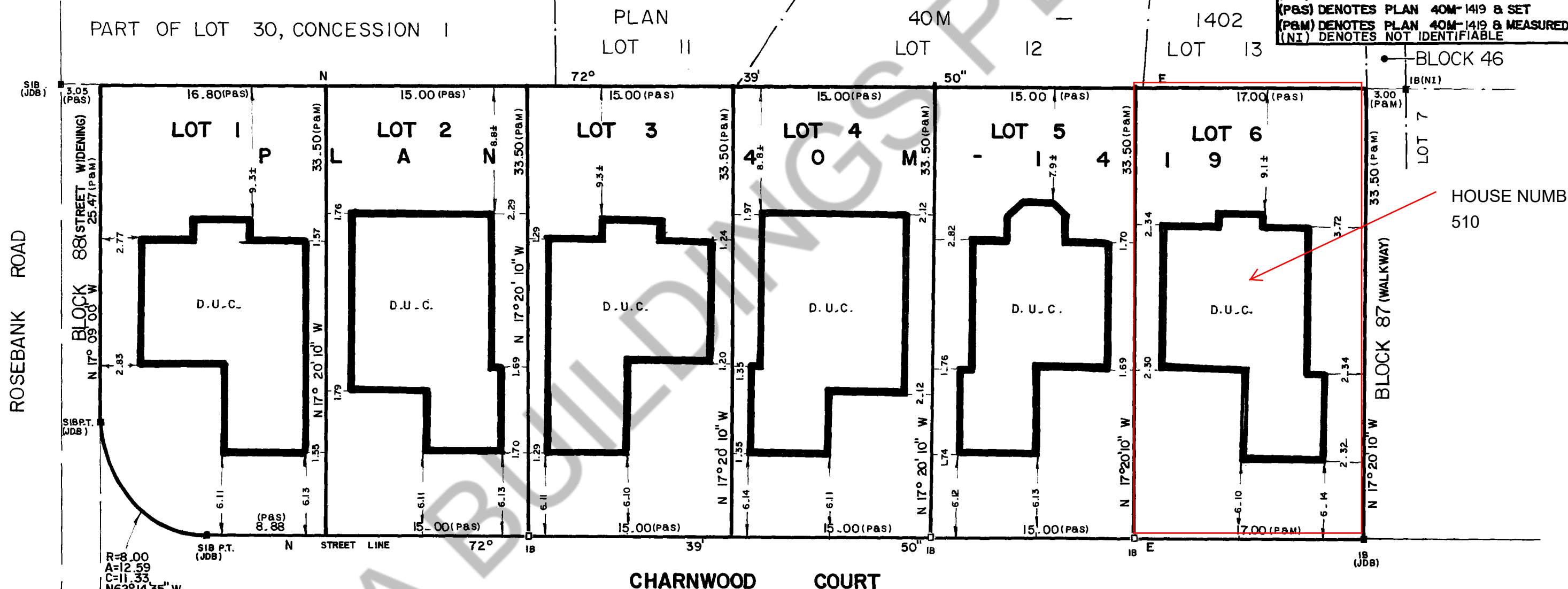
CITY OF PICKERING

21-110282
BUILDING PERMIT NUMBER

APPROVED COPY

NOTES :
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF CHARNWOOD COURT AS SHOWN ON PLAN 40M-1419 HAVING A BEARING OF N 72° 39' 50" E.
BUILDING TIES SHOWN HEREON ARE TO CONCRETE FOUNDATION UNLESS NOTED OTHERWISE.

LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT PLANTED
S.I.B. DENOTES STANDARD IRON BAR
I.B. DENOTES IRON BAR
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
(JDB) DENOTES J. D. BARNES O.L.S.
(P&S) DENOTES PLAN 40M-1419 & SET
(P&M) DENOTES PLAN 40M-1419 & MEASURED
(NI) DENOTES NOT IDENTIFIABLE



ROSEBANK ROAD

CHARNWOOD COURT

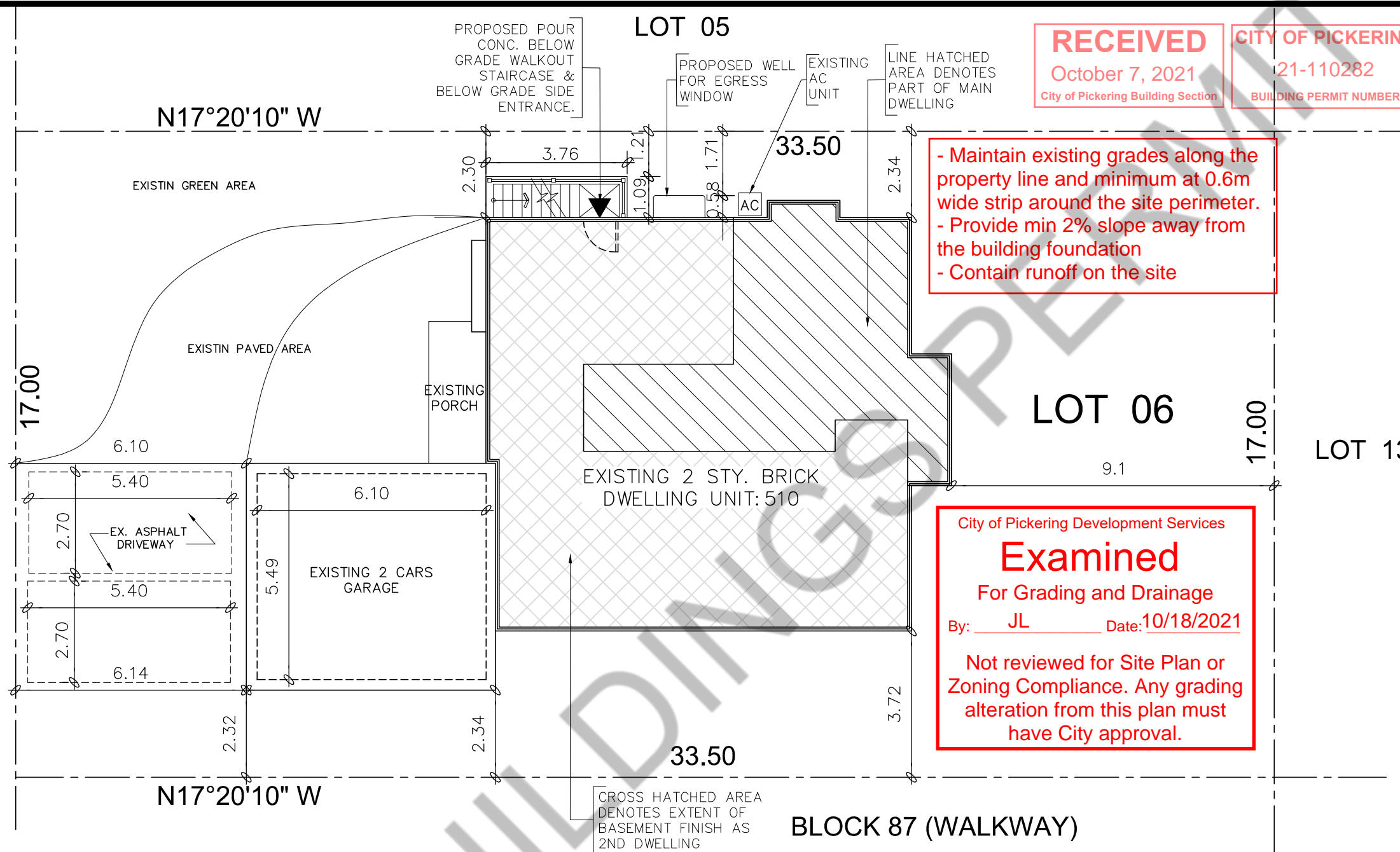
SURVEYOR'S CERTIFICATE
I CERTIFY THAT :
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 8th DAY OF Feb., 1988
March 10, 1988
DATE
ANTON KIKAS
ONTARIO LAND SURVEYOR

Anton Kikas Limited
Consulting Engineers
Ontario Land Surveyors - Planners
168 Bridgeland Avenue Toronto M6A 1Z4 Tel. 787-0302

DRAWN BY : J.J. JOB № 86-118-28
CHECKED BY : G.R.

HOUSE NUMBER 510

CHARNWOOD COURT



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- Maintain existing grades along the property line and minimum at 0.6m wide strip around the site perimeter.
 - Provide min 2% slope away from the building foundation
 - Contain runoff on the site

City of Pickering Development Services
Examined
 For Grading and Drainage
 By: JL Date: 10/18/2021
 Not reviewed for Site Plan or Zoning Compliance. Any grading alteration from this plan must have City approval.

Project No.: 2018024	Date: 29-09-2021	Dwg. no. A1.0
Checked By: SA	Scale: AS NOTED	REV. NO: -
Drawn By: SF	Revisions	

Sheet title: SITE PLAN

Project: PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD COURT, PICKERING, ONT. L1V 4Y1

Owners: MR. IQBAL ZAFAR, MR. SHAHZAD SAQIB



1 SITE PLAN
 A1.0 SCALE = 1:125

City of Pickering
Zoning Approval
 These plans have been reviewed and approved for compliance with the requirements of Zoning By-law:
S1, 3036,1543/82
 and are hereby approved Date: Oct. 13, 2021
 By: Laura Ferreira
 Building Services, City Development Department

SITE DATA		M/SM	
ZONING			
PLAN NO:			
LOT NO:	06		
LOT AREA	569.50 SQ.M		
EXISTING		PROPOSED	
BUILDING AREA (G.F) (INCL. FRONT PORCH+EX.GARAGE)	= 174.06 SQ.M	PROPOSED GROSS BASEMENT FINISH AREA (EXCL.FURNACE)	= 125.09 SQ.M
LOT COVERAGE	= 30.56%	PROPOSED BASEMENT FINISH AREA FOR SECOND DWELLING	= 83.22 SQ.M
GROUND FLOOR AREA (EXCL.PORCH,GARAGE)	= 129.35 SQ.M	PROPOSED BASEMENT FINISH AREA FOR PART OF MAIN DWELLING	= 41.87 SQ.M
SECOND FLOOR AREA	= 129.35 SQ.M	PROPOSED BELOW GRADE WALKOUT STAIR AREA	= 3.76M X 1.09M = 4.09 SQ.M
GROSS FLOOR AREA	= 258.78 SQ.M	LOT COVERAGE	= 31.28%
BASEMENT AREA (UNFINISHED INCL. FURNACE)	= 129.35 SQ.M		

ARCHITECTS STEMMING CONSULTING ARCHITECTS
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 80 Eastern Ave. Unit A9 Brampton, ON, Canada L6W 0B6
 Tel: (O) 905 838-2565 (C) 547-295-2565
 www.thearchitects.com
 email: architectsstemming@gmail.com

Mandatory Housing Inspections

The following inspections must be arranged prior to covering any work by calling 905.420.4631. Please provide 48 hours notice, and quote your permit number. The approved permit drawings must be kept at the construction site and made available to the inspectors. Covering work prior to inspection may result in delays and the removal of finishes.

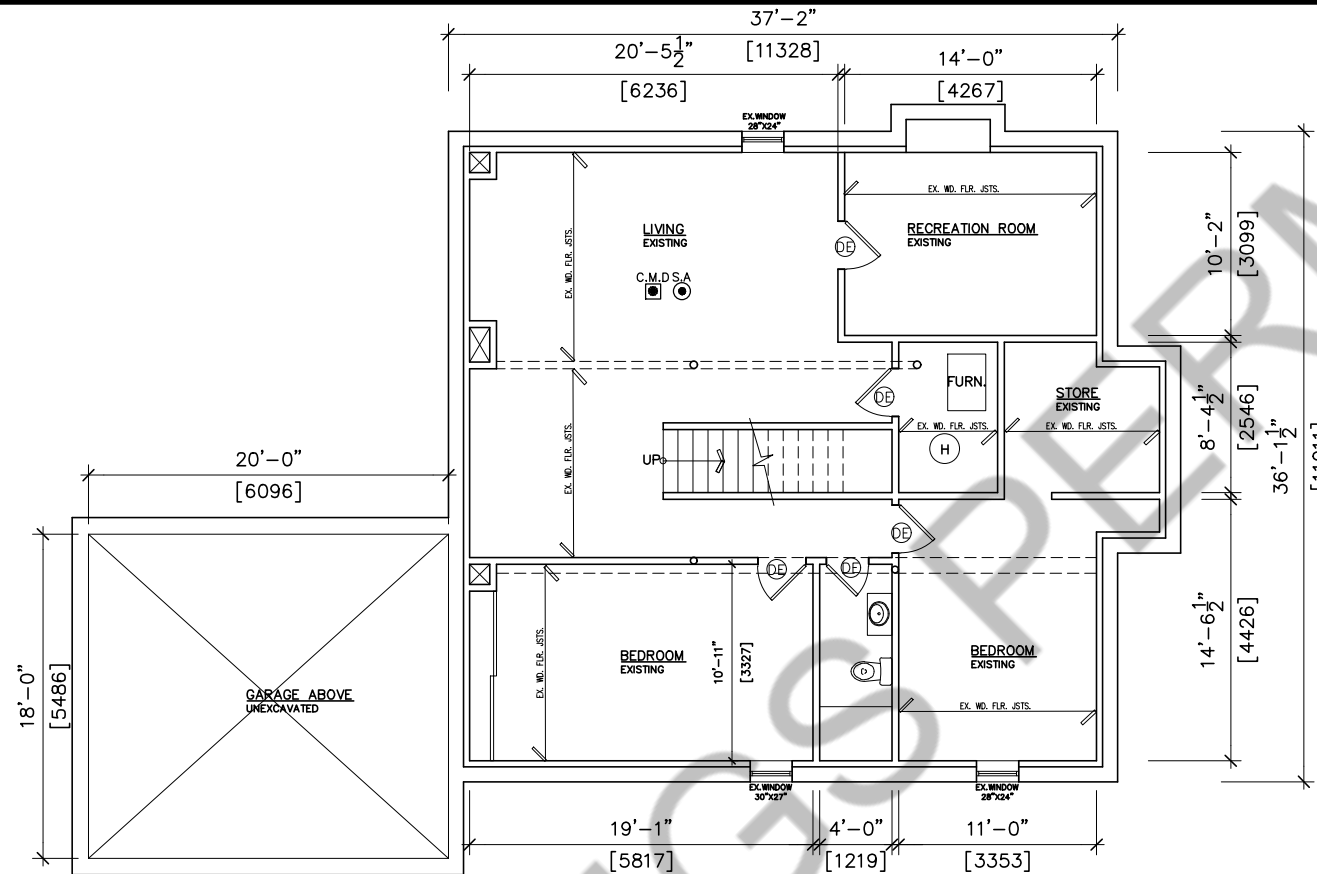
Building Inspections Required

Footings:	Readiness to pour concrete footings.
Foundation:	Completion of foundation, dampproofing and subfloor prior to backfilling. An as-built survey must be submitted at this stage.
Framing & Heating:	Completion of all framing and heating rough-ins prior to installing insulation.
Insulation:	Completion of insulation and vapour barriers, prior to installing finishes.
Air Barrier:	Completion of air barrier systems.
Occupancy:	Substantial completion of finishes, railings, smoke and carbon monoxide detectors, heating, gas proofing and other required interior and exterior elements.
Final:	Completion of all remaining building components within the scope of the building permit.

Plumbing Inspections required

Outside Services:	Installation of building drains and water supply to building, prior to backfill.
Inside Services:	Installation of drains and water supply under basement floor.
Rough In:	Completion of drains, vents and water supply piping throughout the building.
Final (Occupancy):	Installation of hot water tank c/w anti-scald mixing valve at outlet, all fixtures and finishing materials.

CITY OF PICKERING
21-110282
BUILDING PERMIT NUMBER



1 EXISTING BASEMENT FLOOR PLAN
A2.0 SCALE= 3/32"=1'-0"

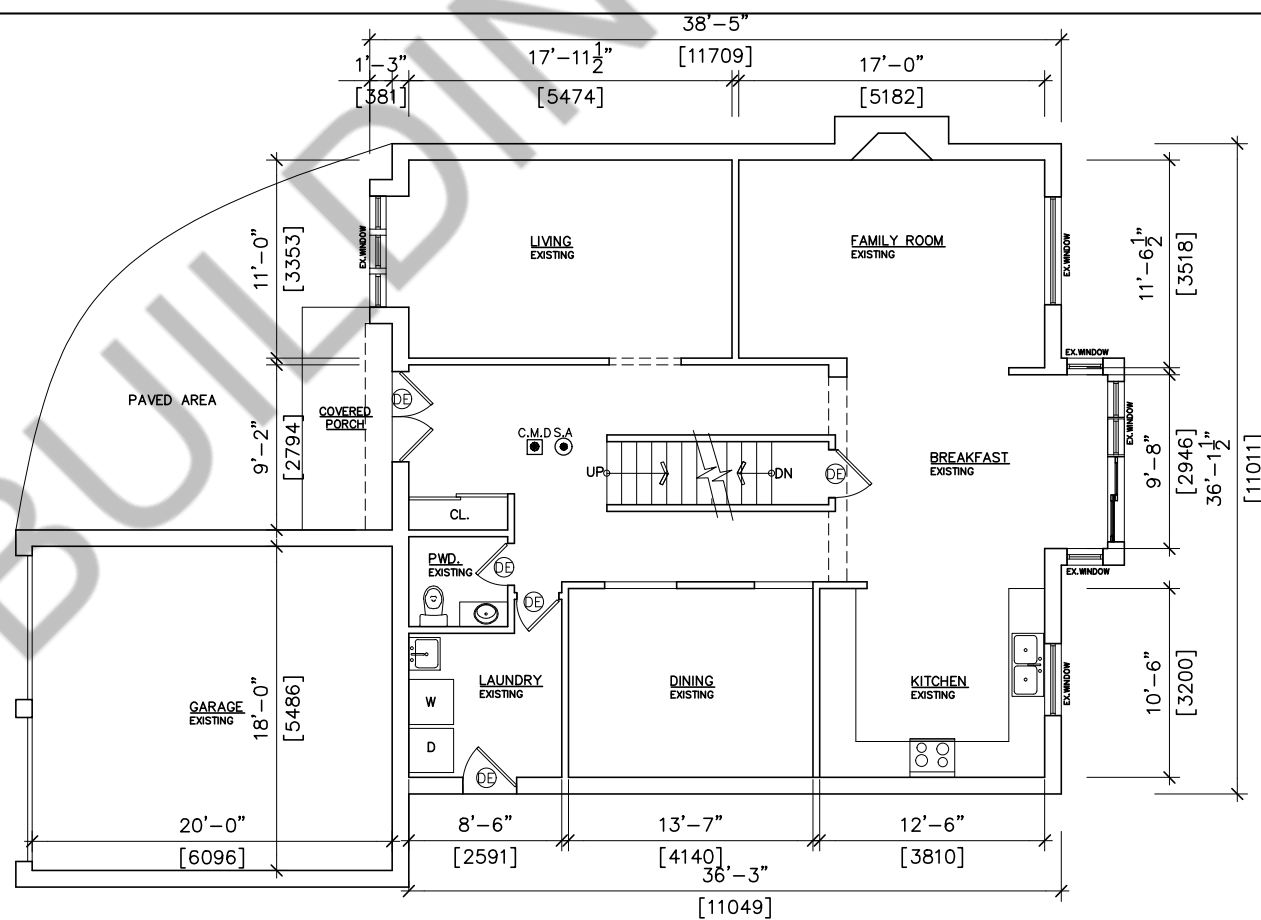
City of Pickering [BCIN 17526] Building Code Review

By: A.Nunes

BCIN: 108186 Date: Dec 1, 2021

For Inspection and Inquiries
Please Call: 905.420.4631 or
Email: binspections@pickering.ca

Doing electrical work? A separate permit is required from the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the law. For more information go to esasafe.com or call 1-877-372-7233



1 EXISTING FIRST FLOOR PLAN
A2.0 SCALE= 3/32"=1'-0"

Sheet title:
EXISTING FLOOR PLANS

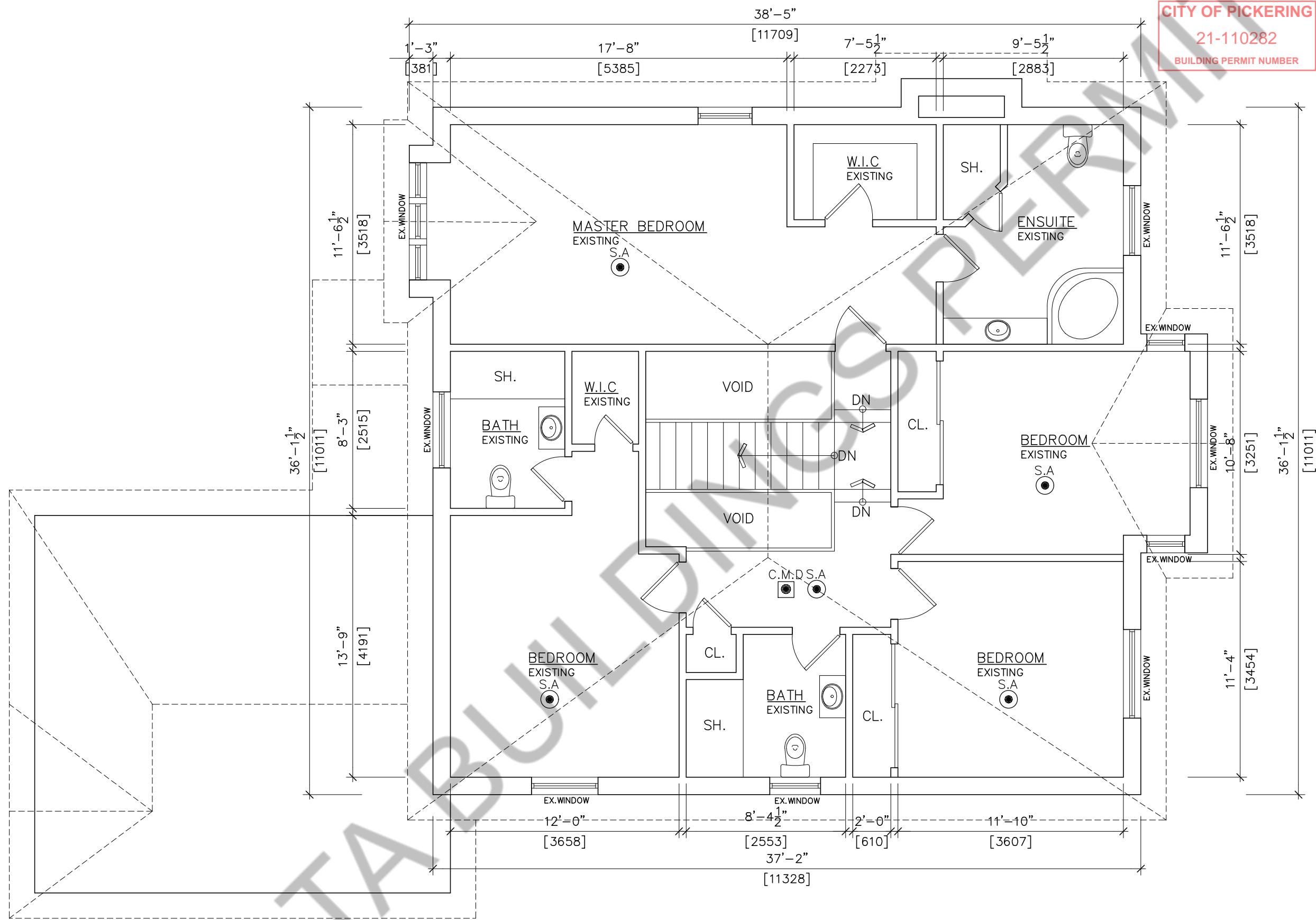
Project No.: 2018024	Date: 29-09-2021	Dwg. no. A2.0
Checked By: SA	Scale: AS NOTED	REV. NO.: -
Drawn By: SF	Revisions	

Project:
PROPOSED BASEMENT
FINISH PLAN AND BELOW
GRADE WALKOUT SIDE
ENTRANCE FOR 2ND
DWELLING AT 510
CHARWOOD COURT,
PICKERING, ONT. L1V 4Y1
Owners:
MR. IQBAL ZAFAR
MR. SHAHZAD SAQIB



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CITY OF PICKERING
21-110282
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Sheet title: EXISTING SECOND FLOOR PLAN	
Checked By: SA	Project No.: 2018024
Drawn By: SF	Date: 29-09-2021
Revisions	Dwg. no. A2.1
Scale: AS NOTED	REV. NO.: -

Project
 PROPOSED BASEMENT
 FINISH PLAN AND BELOW
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Owners:
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1 EXISTING SECOND FLOOR PLAN
 A2.1 SCALE = 3/16" = 1'-0"

PROVIDE MIN. 0.28 SQ M OF NATURAL VENTILATION FOR ALL FINISHED ROOMS AND 0.09 FOR BATHROOM AND WATER CLOSET, OR PROVIDE SUITABLE MECHANICAL VENTILATION, TABLE 9.32.2.1., AND C194

OPENINGS ABOVE THE CEILING MEMBRANE FOR HORIZONTAL FIRE-SEPARATIONS, OTHER THAN ELECTRICAL AND TIGHTLY FITTED OUTLET BOXES, SHALL BE BOXED WITH THE SAME MATERIAL AS THE MEMBRANE CEILING AND FIRE BLOCKED

EXHAUST AIR DUCT FOR KITCHEN, BATHROOM/WATER CLOSET SHALL BE SIZED ACCORDINGLY TO FAN CAPACITY IN TABLE 9.32.3.5.

- 25 L/S MIN. 125 MM DUCT
- 50 L/S MIN. 150 MM DUCT
- ADD 25 MM FOR FLEXIBLE DUCTS

WATER SHUT OFF VALVE SHALL BE INSTALLED IN EACH DWELLING UNIT SO THAT WHEN THE SUPPLY TO ONE DWELLING IS SHUT OFF THE SUPPLY TO THE REMAINDER OF THE BUILDING IS NOT INTERRUPTED 7.6.1.6.

SEE ATTACHED DETAIL FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM 9.5.2.3.

PROVIDE PROGRAMABLE THERMOSTAT AS PER 12.3.1.3.

GLASS IN MAIN ENTRANCE DOOR TO ACCESSORY DWELLING UNIT SHALL BE TRANSPARENT OR PROVIDE DOOR VIEWER, OR SIDELIGHT AS PER 9.7.2.1.

INSPECTOR TO VERIFY PLUMBING ON SITE

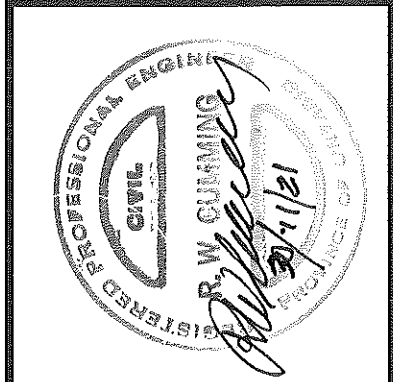
MIN 32" DOOR FOR LAUNDRY

CITY OF PICKERING
21-110282
BUILDING PERMIT NUMBER
RECEIVED
Dec 01, 2021
City of Pickering Building Section

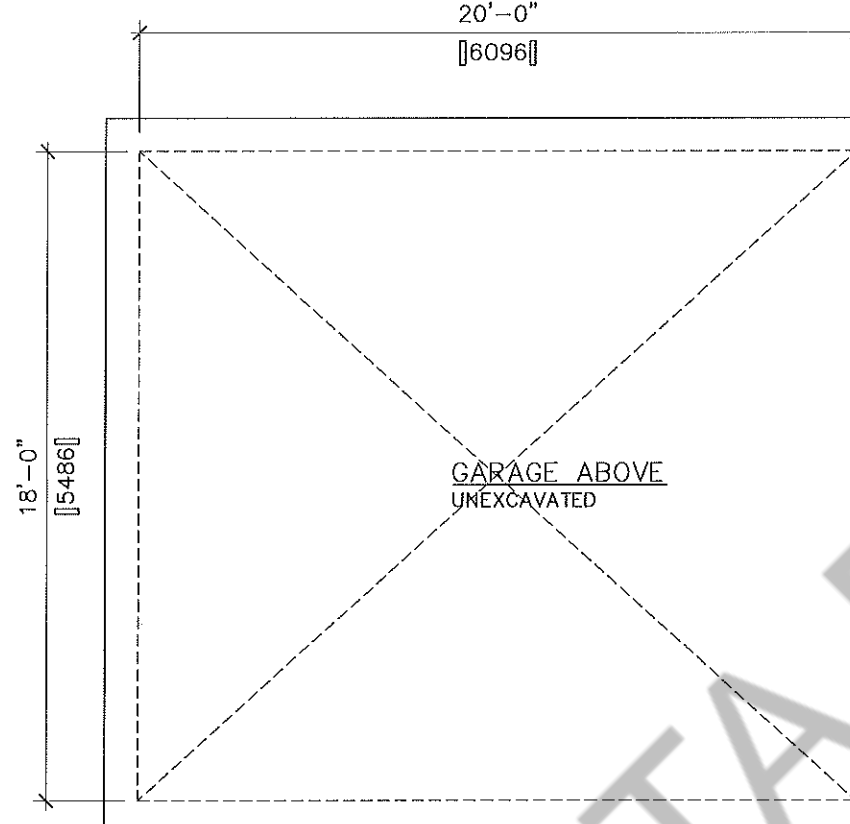
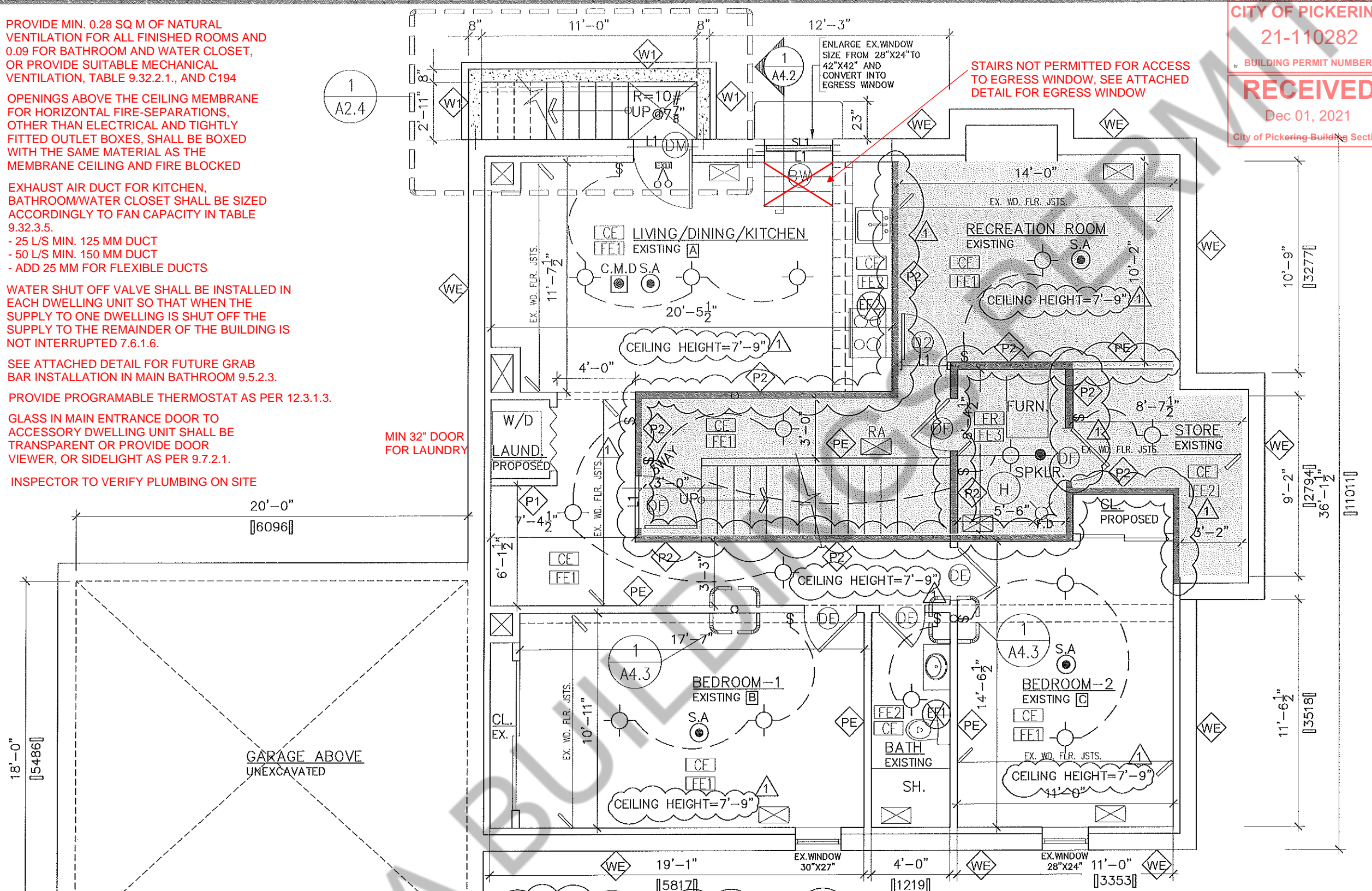
Sheet title: PROPOSED BASEMENT FLOOR PLAN	Checked By: SA	Project No.: 2018024
Drawn By: SF	Scale: AS NOTED	Date: 11-30-2021
Revisions	1	29-11-2021

Project:
PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD COURT, PICKERING, ON L1V 4Y1

Owners:
MR. IQBAL ZAFAR
MR. SHAHZAD SAQIB



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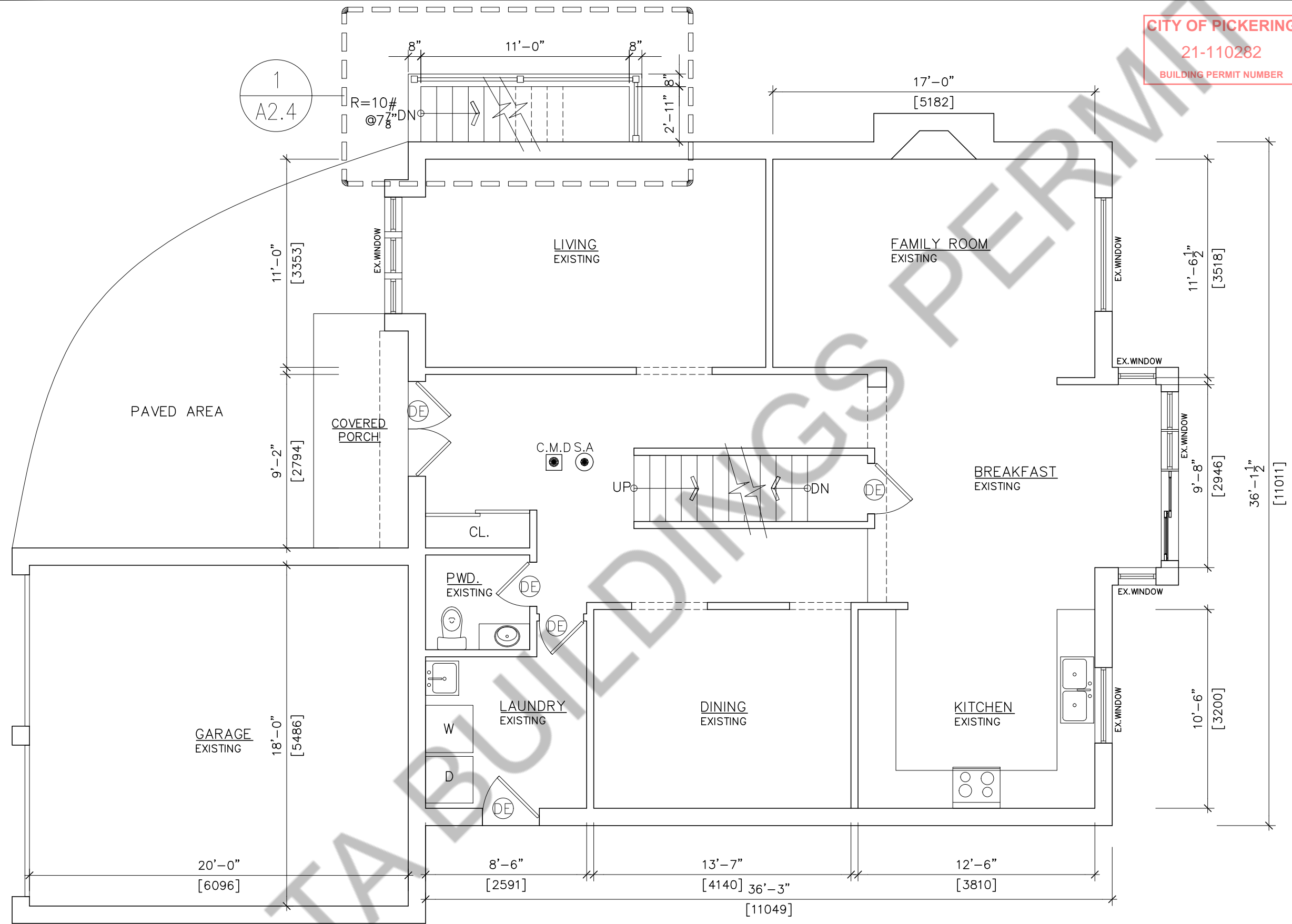
GREY AREA DENOTES PART OF MAIN DWELLING

ROOM LABEL	ROOM TYPE	AREA OF ROOM	AREA OF WINDOWS PROVIDED*	AREA OF WINDOWS REQUIRED
A	LIVING/DINING/KITCHEN	232.56 SQ.FT	42"X42" = 12.25 SQ.FT	5% = 11.62 SQ.FT.
B	BEDROOM-1	191.95 SQ.FT	30"X27" = 5.62 SQ.FT	2.5% = 4.79 SQ.FT
C	BEDROOM-2	159.72 SQ.FT	28"X24" = 4.66 SQ.FT	2.5% = 3.99 SQ.FT

NOTE*: 90% OF TOTAL WINDOW AREA

1 PROPOSED BASEMENT FLOOR PLAN
A2.2 SCALE= 3/16"=1'-0"

REV. NO. -



CITY OF PICKERING
 21-110282
 BUILDING PERMIT NUMBER

1 OVERALL FIRST FLOOR PLAN
 A2.3 SCALE= 3/16"=1'-0"

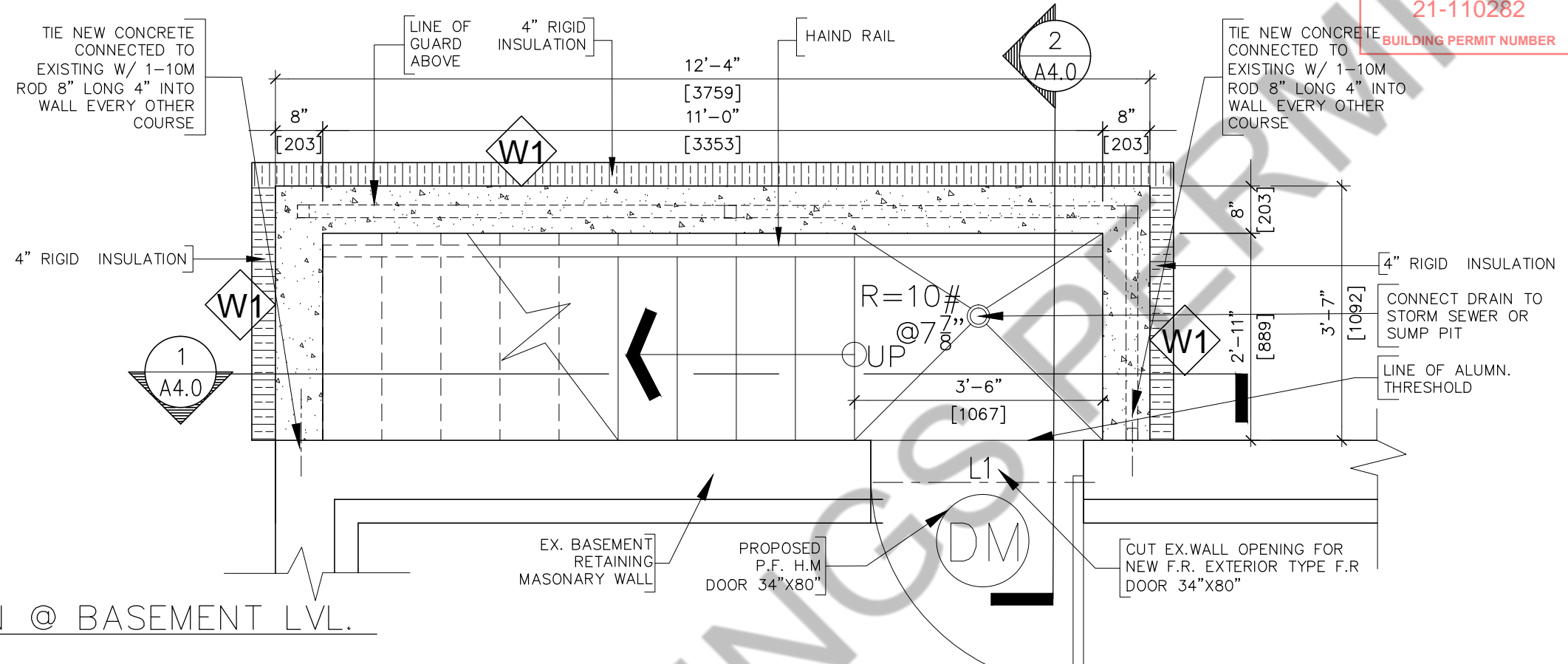
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Drawn By: SF	Checked By: SA
Revisions	Scale: AS NOTED
	Date: 29-09-2021
	Dwg. no. A2.3
	REV. NO.: -

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 PROPOSED BASEMENT
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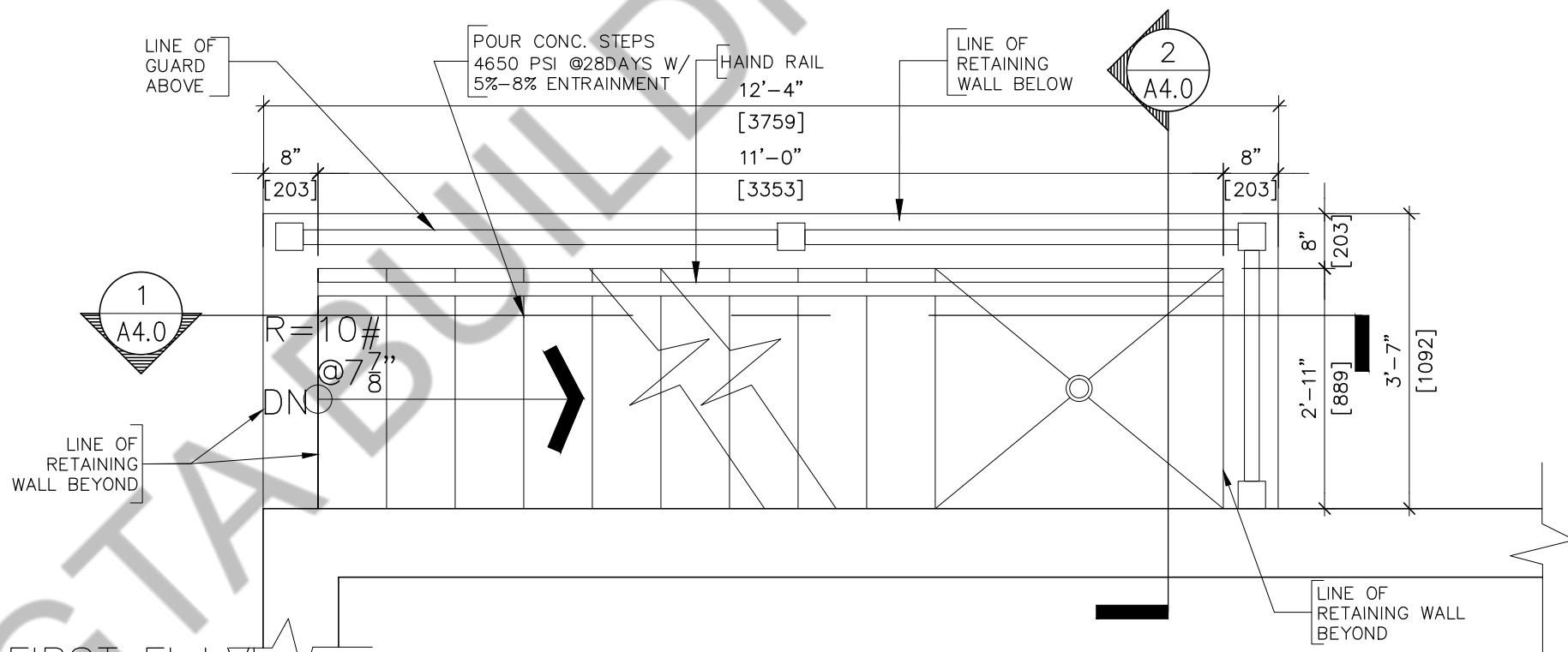


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21-110282
BUILDING PERMIT NUMBER



1 STAIR PLAN @ BASEMENT LVL.
A2.4 SCALE = 1/2" = 1'-0"



2 STAIR PLAN @ FIRST FL. LVL.
A2.4 SCALE = 1/2" = 1'-0"

Sheet title:
STAIR DETAIL PLANS

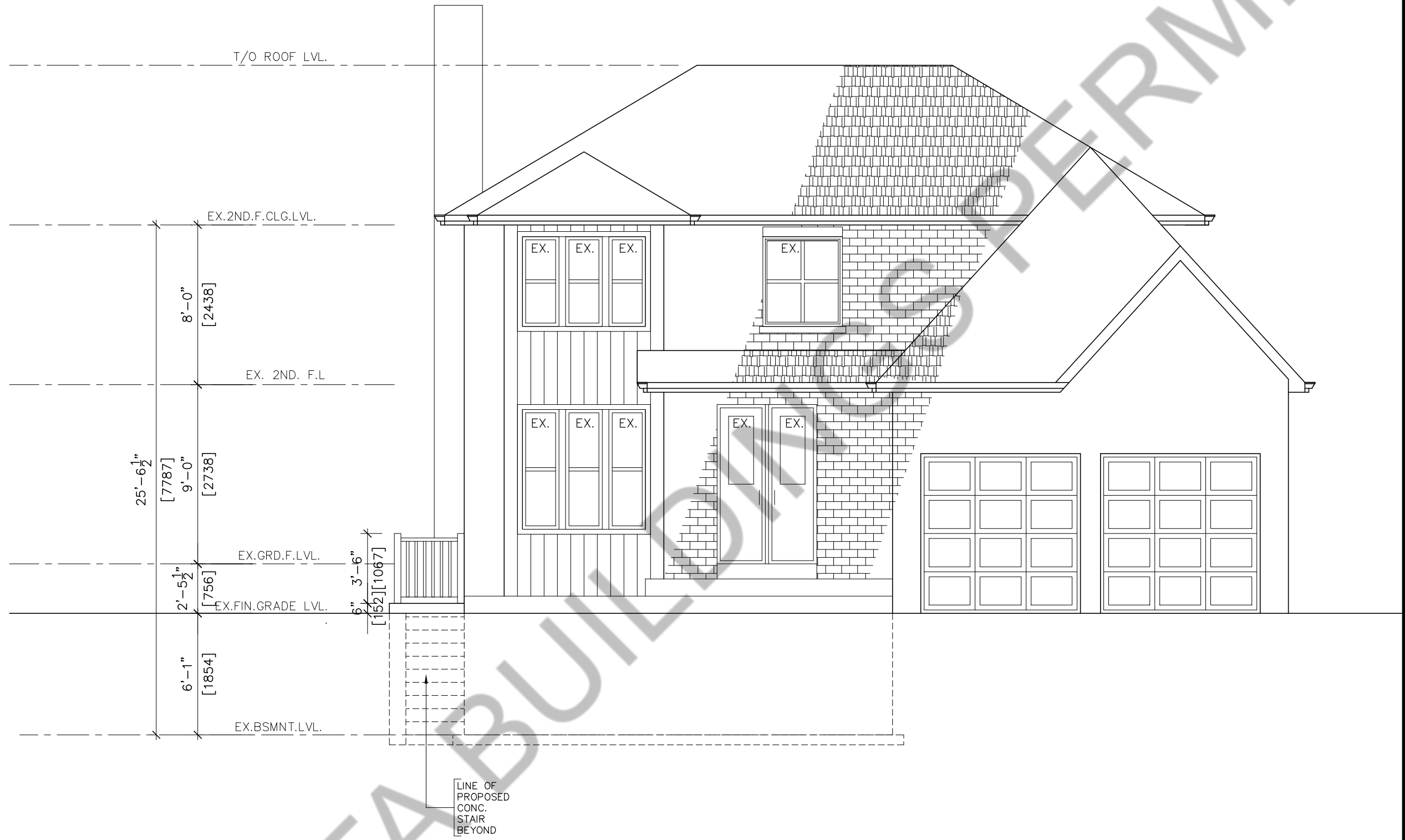
Project No.: 2018024	Date: 29-09-2021	Dwg. no. A2.4
Checked By: SA	Scale: AS NOTED	TRUE NORTH
Drawn By: SF	Revisions	REV. NO.: -

Project:
PROPOSED BASEMENT
FINISH PLAN AND BELOW
GRADE WALKOUT SIDE
ENTRANCE FOR 2ND
DWELLING AT 510
CHARWOOD, COURT,
PICKERING, ONT. L1V 4Y1
Owners:
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MR. SHAHZAD SAQIB



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1 FRONT ELEVATION
A3.0 SCALE= 3/16" = 1'-0"

Sheet title:
FRONT ELEVATION

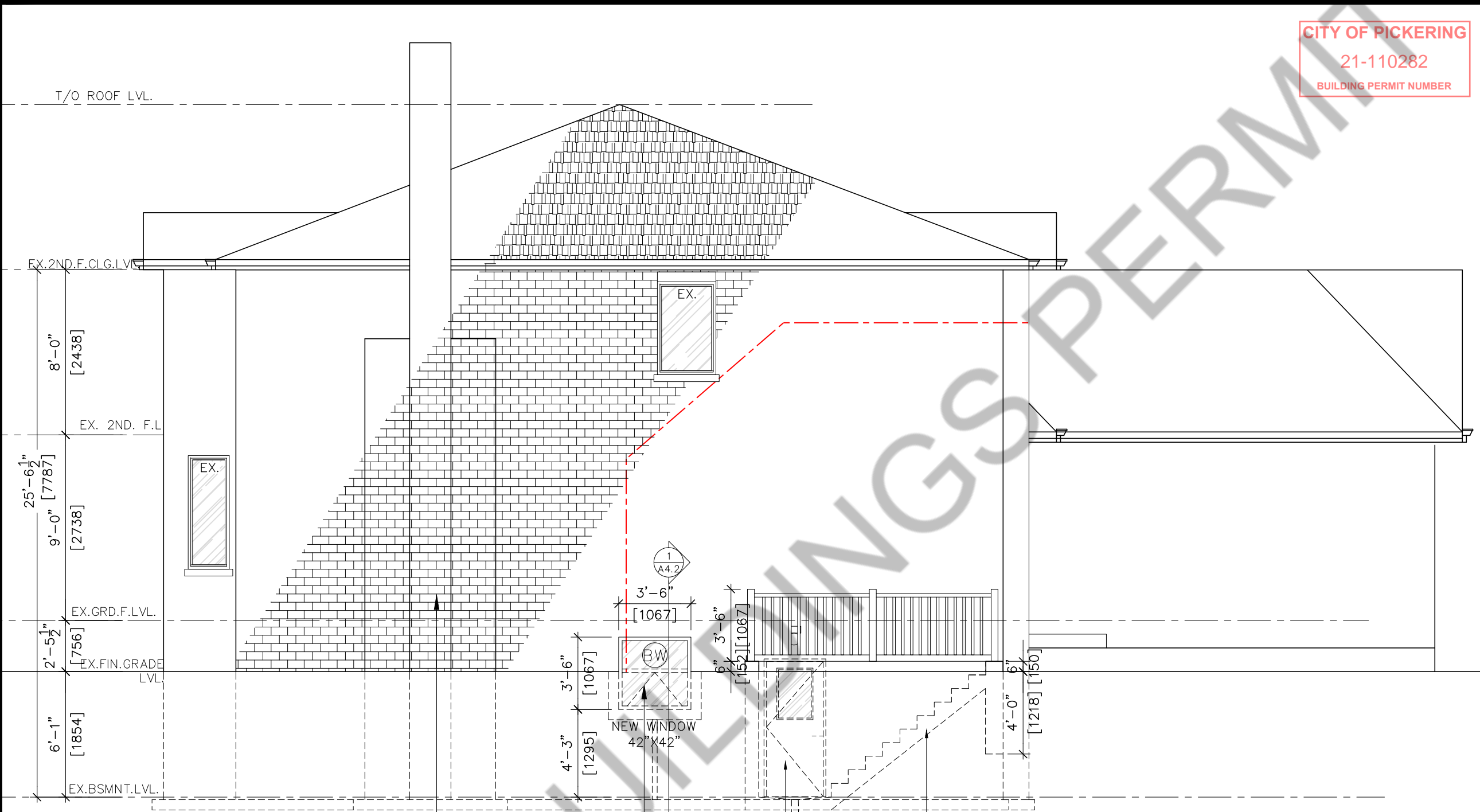
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Revisions	Scale: AS NOTED	Date: 29-09-2021
△		Dwg. no.
△		A3.0
△		REV. NO: -

Project:
PROPOSED BASEMENT
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GRADE WALKOUT SIDE
ENTRANCE FOR 2ND
DWELLING AT 510
CHARWOOD, COURT,
PICKERING, ONT. L1V 4Y1
Owners:
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CITY OF PICKERING
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1 LEFT SIDE ELEVATION
A3.1 SCALE = 3/16" = 1'-0"

EXISTING FIRE PLACE

ENLARGE EX. WINDOW SIZE FROM 28"X24" TO 42"X42" AND CONVERT INTO EGRESS WINDOW

CUT EXIST'G WALL TO PROVIDE NEW EXIT DOOR 34"X80" AND LINTEL AS PER DETAIL

LINE OF PROPOSED CONC. STAIR BEYOND

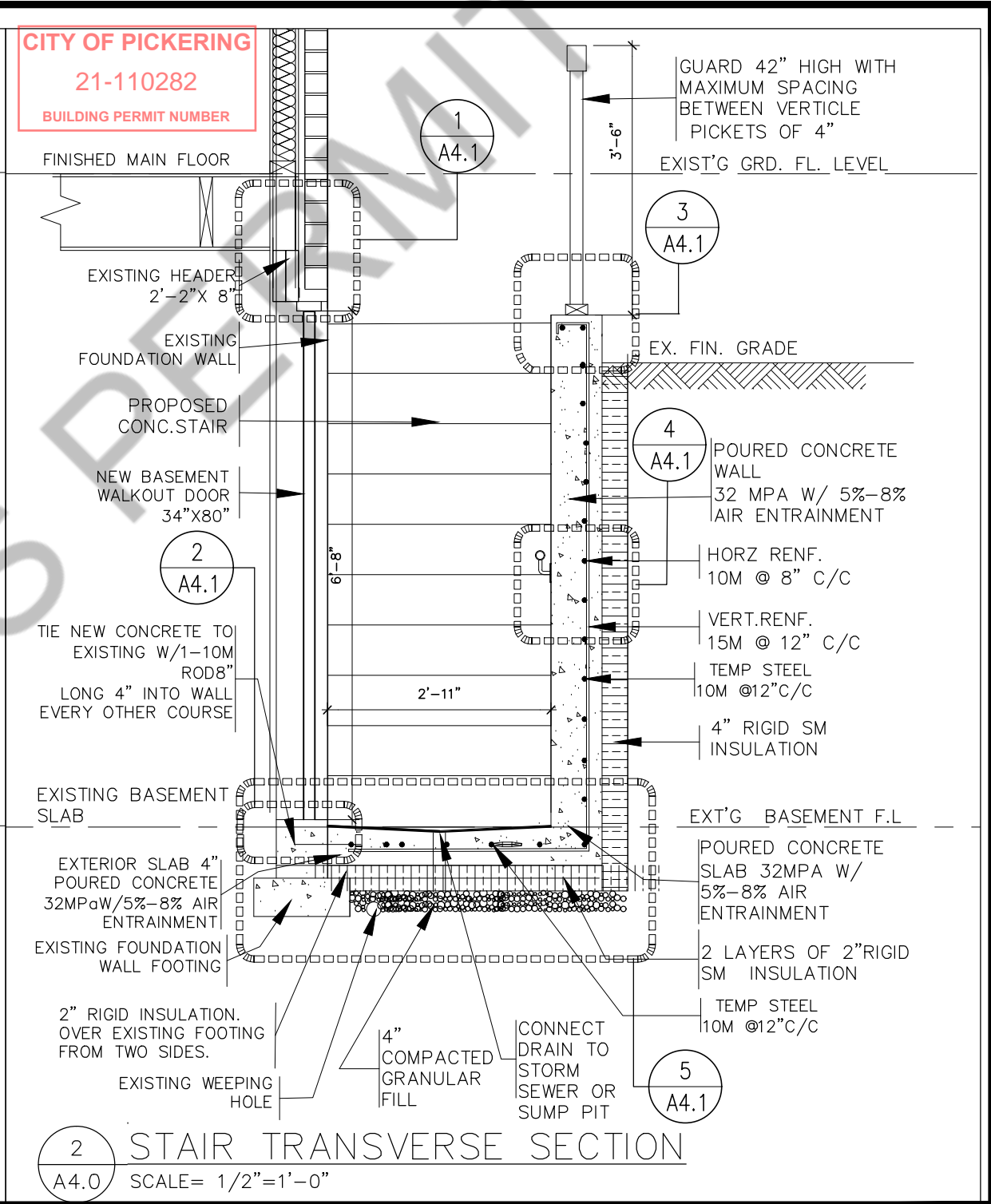
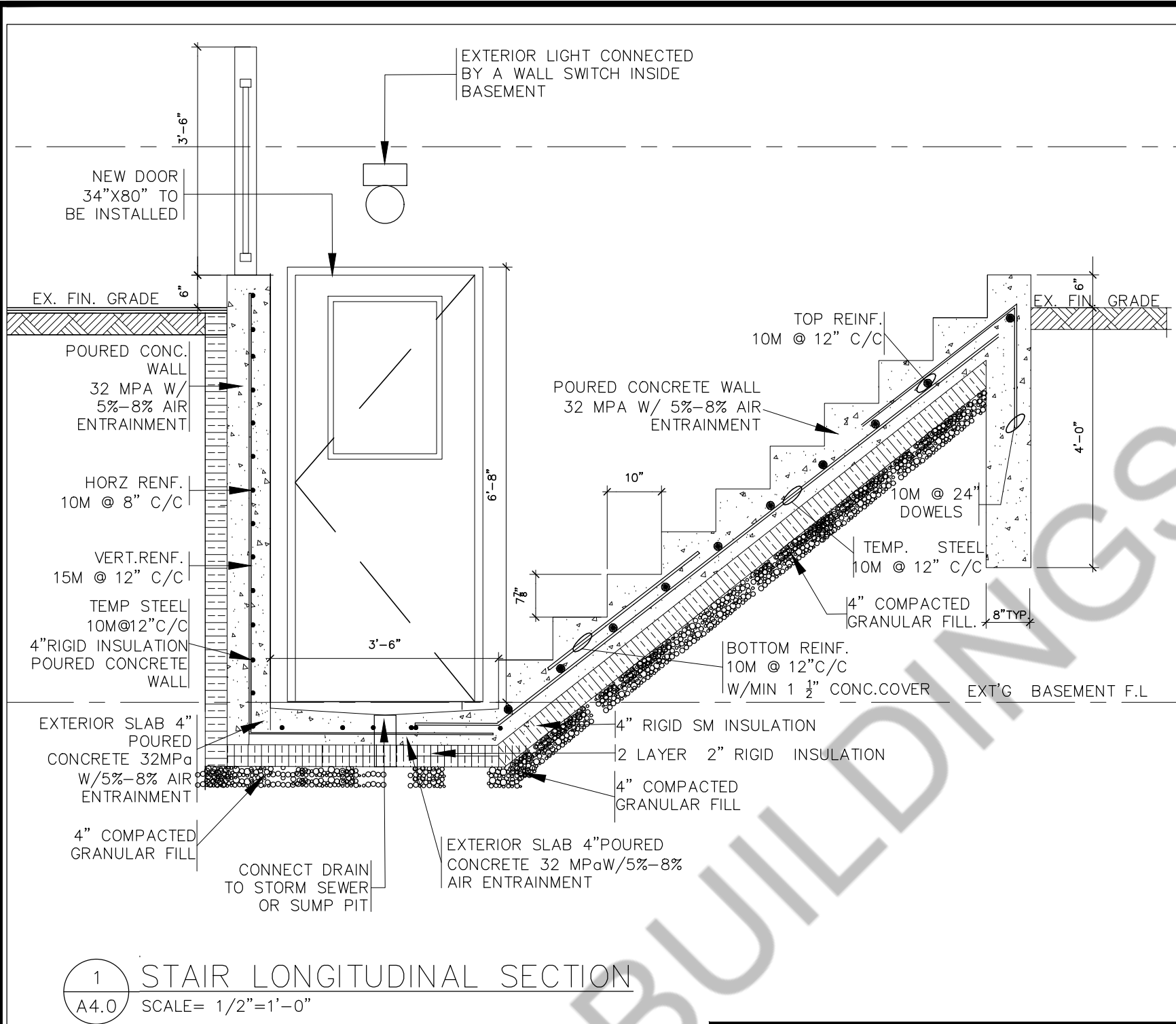
Sheet title:
LEFT SIDE ELEVATION

Project:
PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD COURT, PICKERING, ONT. L1V 4Y1
Owners:
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email: info@archisystem.com

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Scale: AS NOTED	Date: 29-09-2021
Revisions	Dwg. no. A3.1
△	REV. NO.: -



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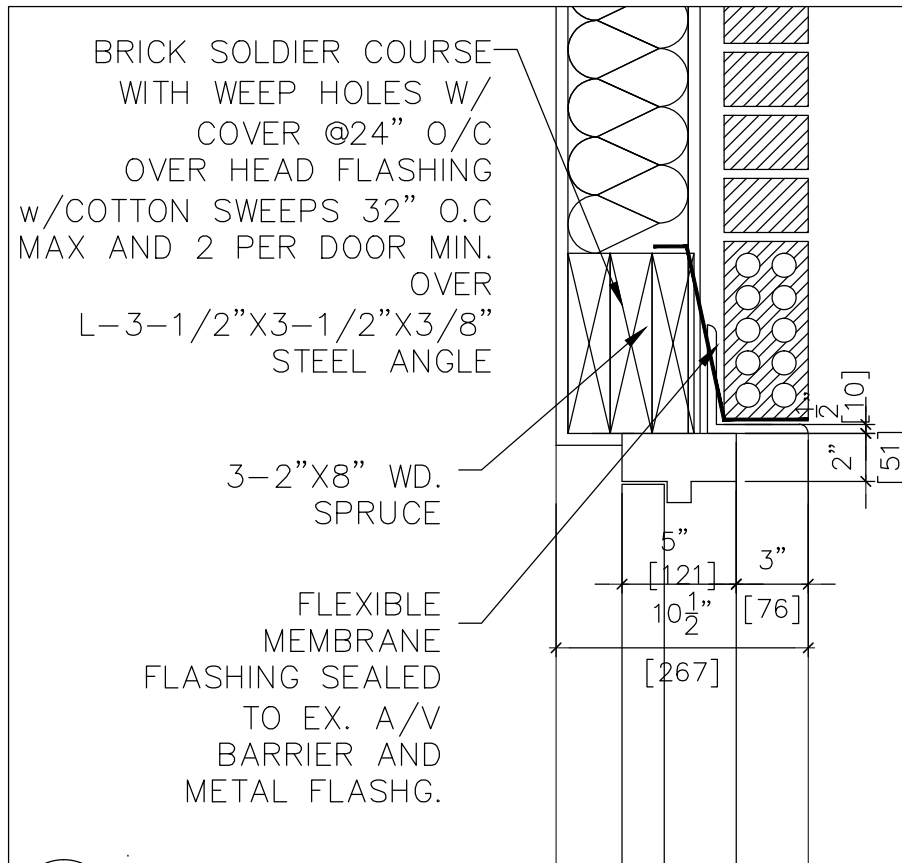
80 Eastern Ave. Unit A9, Erampton, ON.
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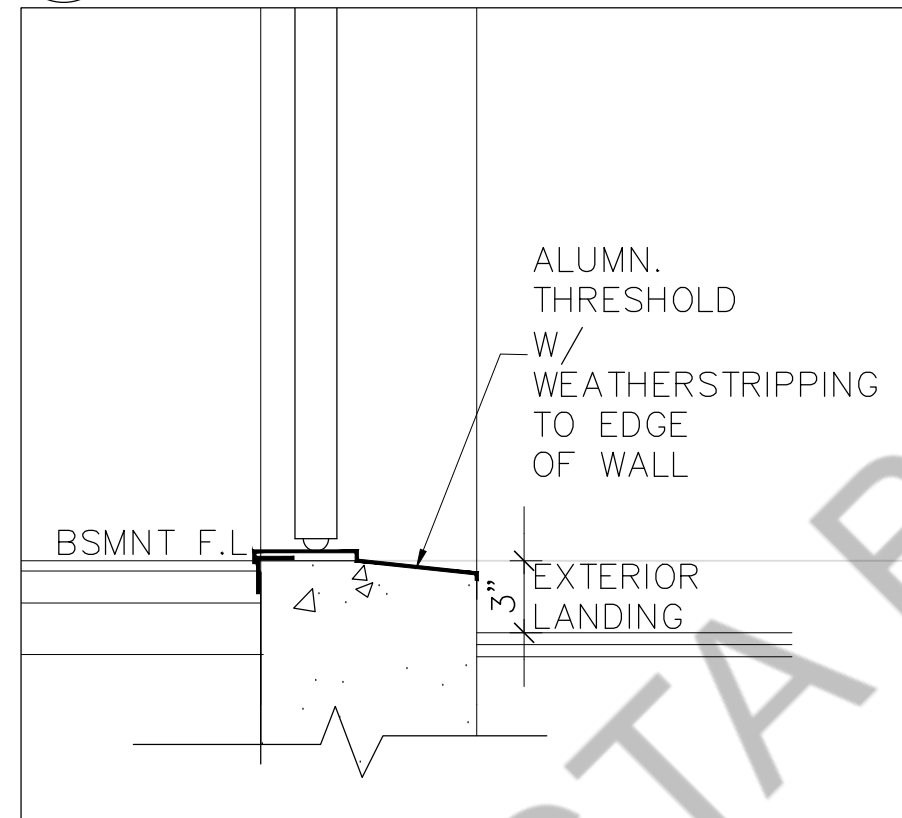
Project
PROPOSED BASEMENT
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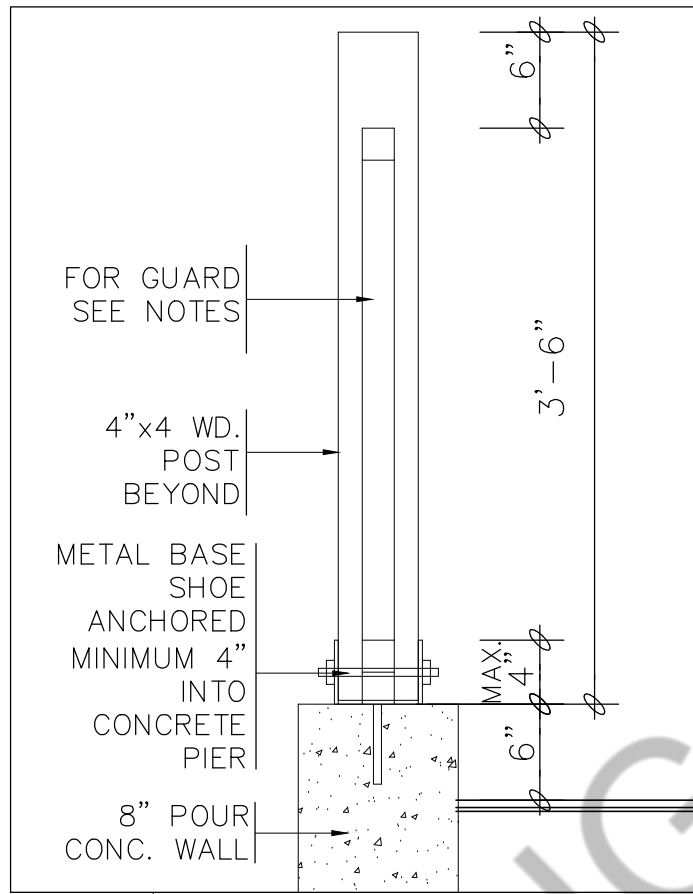
Sheet title: STAIR SECTIONS		
Drawn By: SF	Checked By: SA	Project No.: 2018024
Revisions	Scale: AS NOTED	Date: 29-09-2021
△		Dwg. no.
△		A4.0
△		REV. NO: -



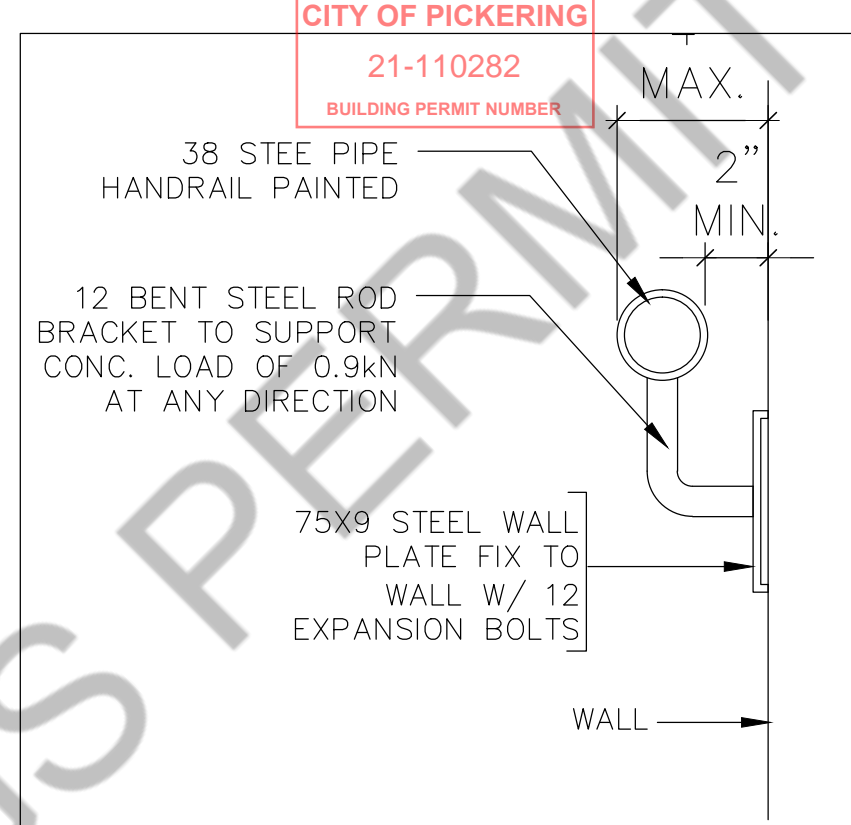
1 SECTION DETAIL-DOOR LINTEL
A4.1 SCALE= 1 1/2" = 1'-0"



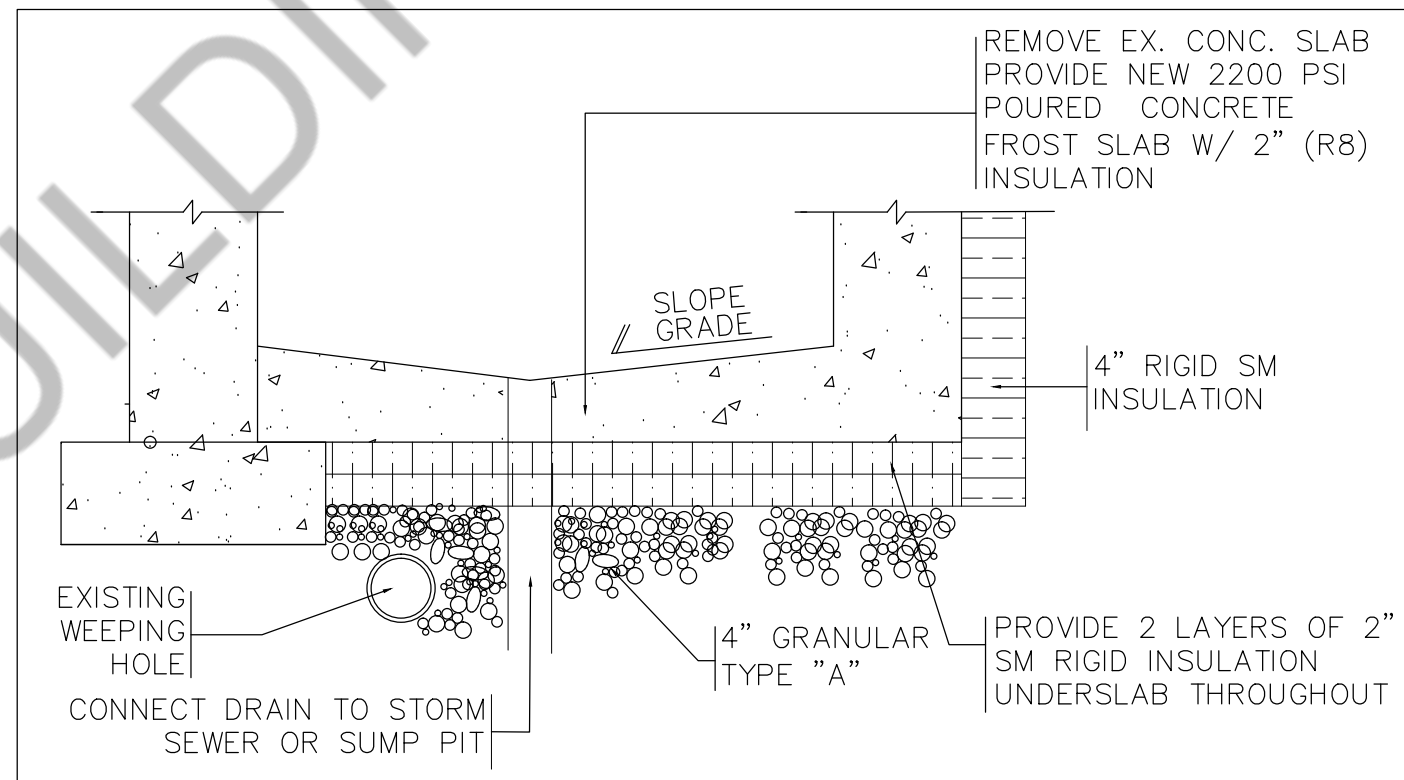
2 SECTION DETAIL-DOOR THRESHOLD
A4.1 SCALE= 1 1/2" = 1'-0"



3 SECTION DETAIL
A4.1 SCALE= 1" = 1'-0"



4 SECTION DETAIL
A4.1 SCALE= N.T.S



5 SECTION DETAIL
A4.1 SCALE:= 1"=1'-0"

Sheet title: SECTION DETAILS		Project No.: 2018024	Date: 29-09-2021	Dwg. no. A4.1	REV. NO.: -
Checked By: SA	Scale: AS NOTED	Drawn By: SF	Revisions		
Project: PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD COURT, PICKERING, ONT. L1V 4Y1		Owners: MR. IQBAL ZAFAR MR. SHAHZAD SAQIB			

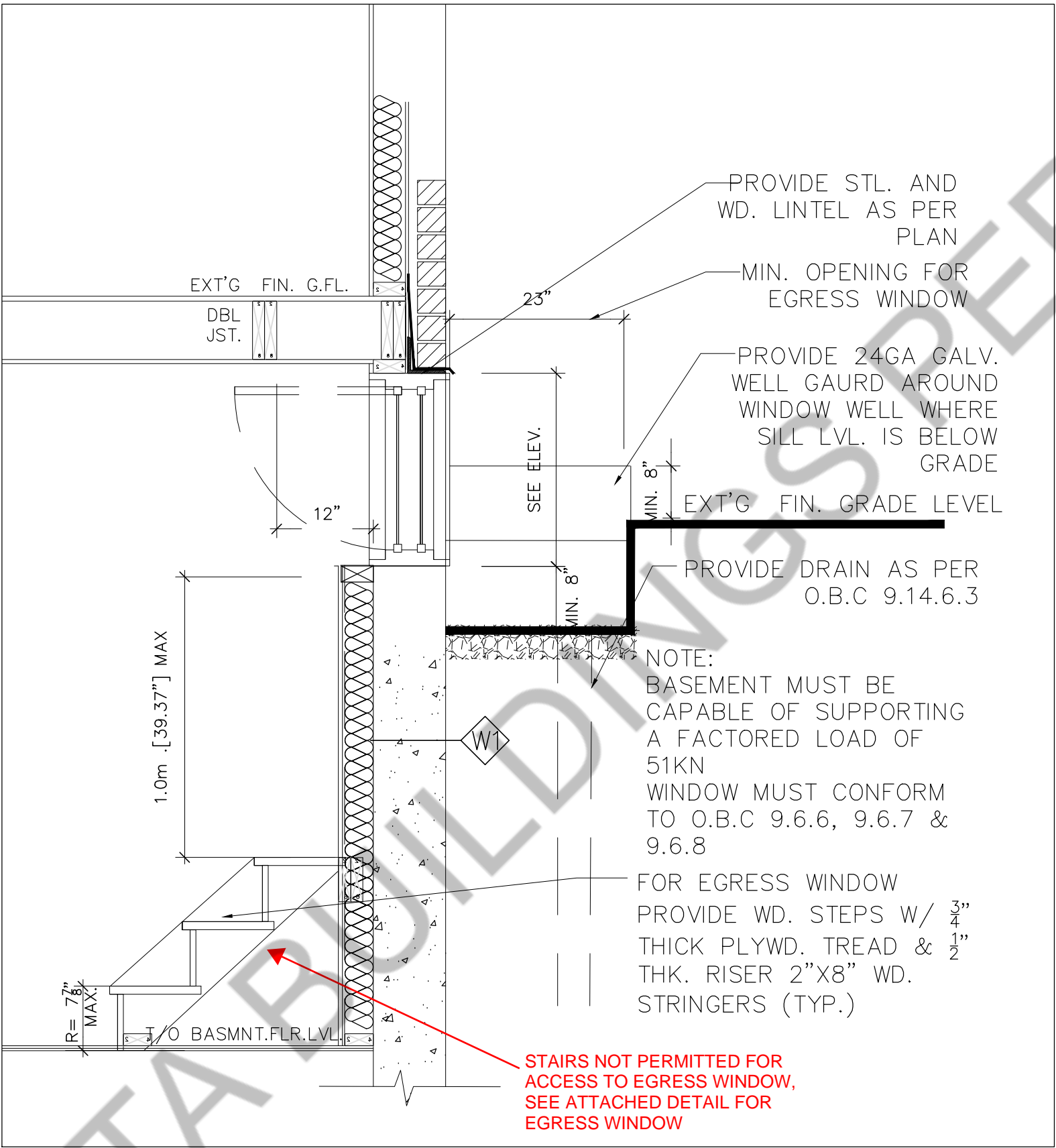


ARCHITECTS & ENGINEERS

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PROVIDE STL. AND WD. LINTEL AS PER PLAN

MIN. OPENING FOR EGRESS WINDOW

PROVIDE 24GA GALV. WELL GAURD AROUND WINDOW WELL WHERE SILL LVL. IS BELOW GRADE

EXT'G FIN. GRADE LEVEL

PROVIDE DRAIN AS PER O.B.C 9.14.6.3

NOTE:
BASEMENT MUST BE CAPABLE OF SUPPORTING A FACTORED LOAD OF 51KN
WINDOW MUST CONFORM TO O.B.C 9.6.6, 9.6.7 & 9.6.8

FOR EGRESS WINDOW PROVIDE WD. STEPS W/ 3/4" THICK PLYWD. TREAD & 1/2" THK. RISER 2"X8" WD. STRINGERS (TYP.)

STAIRS NOT PERMITTED FOR ACCESS TO EGRESS WINDOW, SEE ATTACHED DETAIL FOR EGRESS WINDOW

Sheet title:
SECTION DETAILS

Checked By: SA	Project No.: 2018024
Scale: AS NOTED	Date: 29-09-2021
Revisions	D'wg. no. A4.2
△	REV. NO: -
△	
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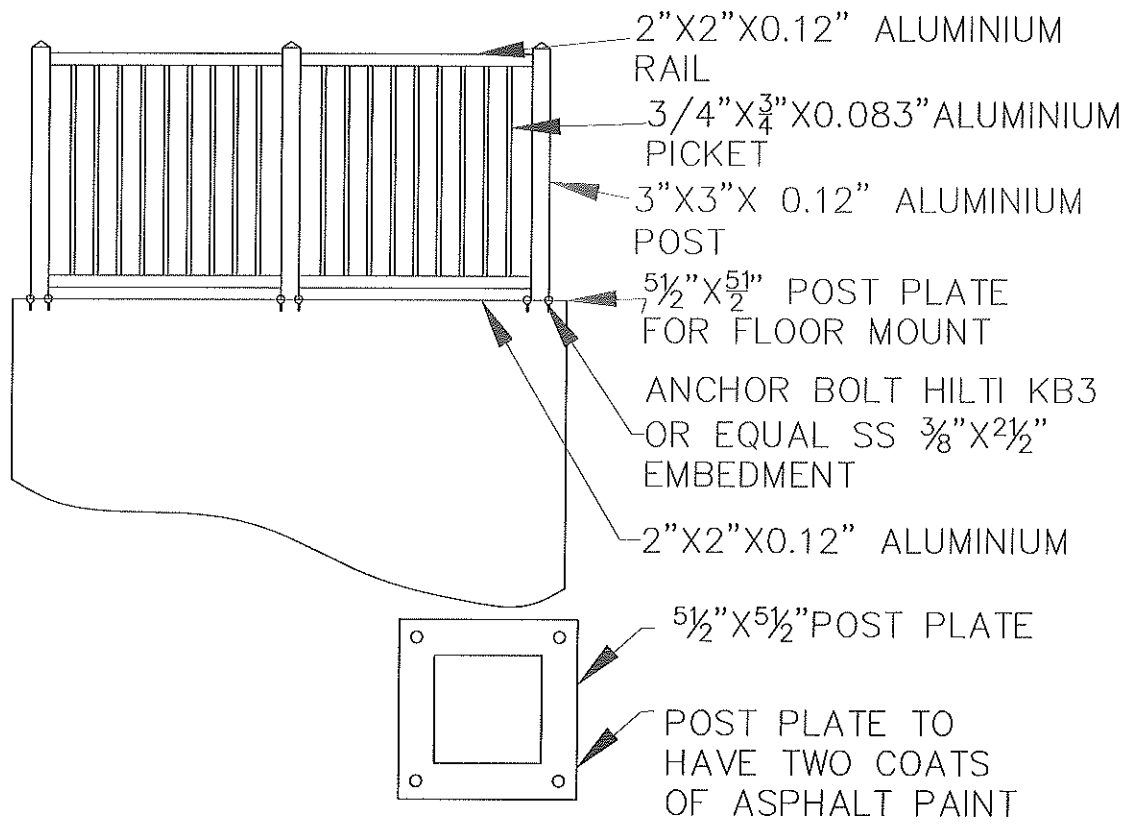
Project
PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD,COURT, PICKERING,ONT.L1V 4Y1
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MR.SHAHZAD SAQIB



1 SECTION DETAIL-EGRESS WINDOW
A4.2 SCALE= 3/4" = 1'-0"

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GUARD SPECIFICATIONS



GENERAL NOTES FOR GUARD

1. A WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS
2. MATERIAL SHALL BE AS FOLLOWS
 - 2.1 CONCRETE 32MP_a AT 2DAYS WITH 5%AIR ENTERTAINMENT REINFORCEMENT STEEL CBA 18M GRADE 400
 - 2.2 REINFORCEMENT STEEL CSA G30 18M GRADE 400
 - 2.3 GROUT HILTI HIT HY 200 OR EQUAL
 - 2.4 BACKFILL TO BE OPS GRANULAR B1 OR SUITABLE EXCAVATED MATERIAL
3. ELECTRIC FEED FOR THE LIGHT TO E SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
4. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER OBC AND RESIST FORCE ENTRY
5. EMERGENCY WINDOW SHALL CONFIRM TO STANDARD AS PER OBC 9.9.10.1

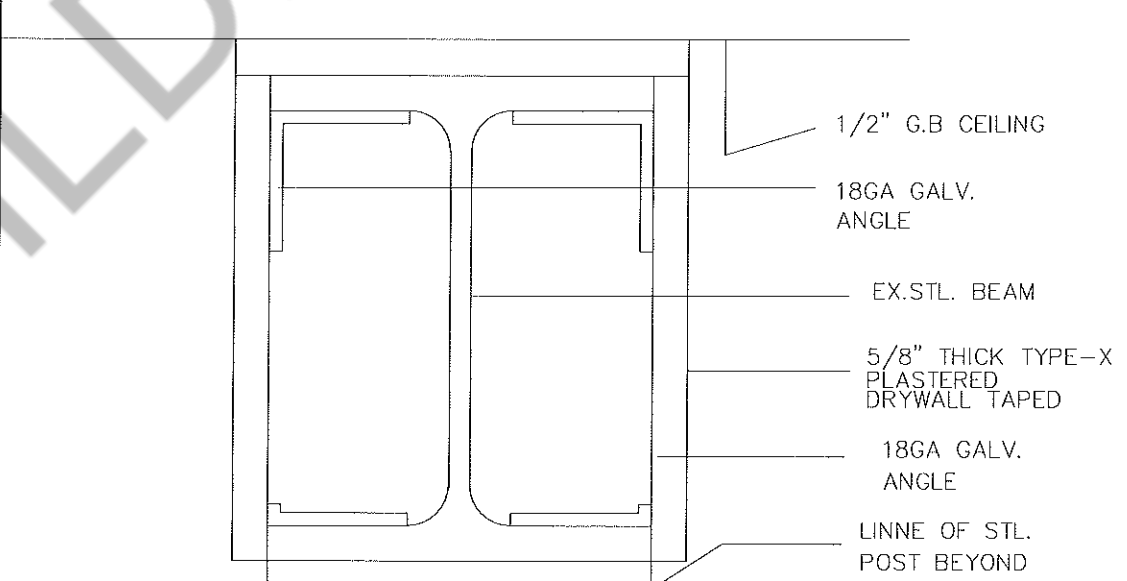
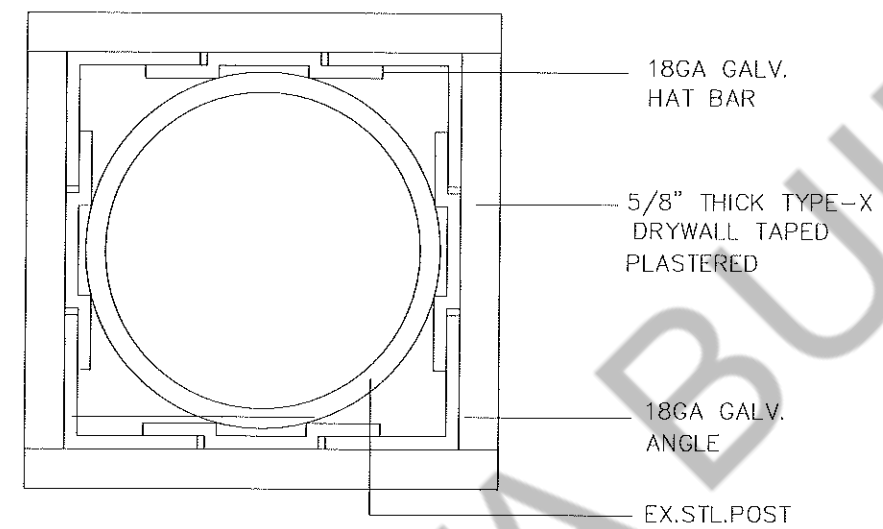
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City of Pickering Building Section

CITY OF PICKERING
21-110282
BUILDING PERMIT NUMBER

Sheet title: SECTION DETAILS	Project No.: 2018024	Date: 11-30-2021	A4.3
Checked By: SA	Scale: AS NOTED	Revisions	REV. NO. :-
Drawn By: SF		29-11-2021	

Project: PROPOSED BASEMENT FINISH PLAN AND BELOW GRADE WALKOUT SIDE ENTRANCE FOR 2ND DWELLING AT 510 CHARNWOOD COURT, PICKERING, ONT. L1V 4Y1

Owners:
MR. IQBAL ZAFAR
MR. SHAHZAD SAQIB



1 PLAN DETAIL @ COLUMN POST
A4.3 SCALE: 3" - 1'0"

1 SECTION DETAIL @ COLUMN POST
A4.3 SCALE: 3" - 1'0"

ARCHITECTS

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE #5465

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Caraga 16W 0B6
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sean@architects.com

WALL TYPE & NOTES LEGEND

- WE** EXISTING 8" POUR CONC. REINFORCED WALL O/S TOWEL APPLIED WATERPROOFING LAYER PROTECTION BOARD INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARGING EXISTING R12 BATT INSULATION, 6 MIL POLY AVB
 - W1** NEW POUR CONC. 8" THK. BASEMENT WALK-OUT STAIR EXTERIOR WALL WITH WATERPROOFING & PROTECTION BOARD
 - PE** EXISTING N.L.B 4-1/2" PARTITION WALL IN 1/2" G.W.B B/S 2"x4" WD. STUDS @ 16" O/C TAPED, SANDED AND PAINTED.
 - P1** NEW N.L.B 4-1/2" PARTITION WALL IN 1/2" G.W.B B/S 2"x4" WD. STUDS @ 16" O/C TAPED, SANDED AND PAINTED.
 - P2** PROPOSED 30M NON-LOAD BEARING F.R PARTITION WALL (RE: SB3 (W1C) 30 MIN. F.R.R STC=32 . 1/2" [13] TYPE=X G.W.B FINISH B/S TAPED & PLASTERED
- _____ EXISTING WALL TO REMAIN
 - - - - - EXISTING WALL TO BE DEMOLISHED

- EXISTING DOOR TO REMAIN
- PROPOSED H.C FLUSH DOOR U/N
- FLOOR DRAIN
- FE1** NEW HARDWOOD FLOORING, 1/8" THK. FELT OVER EX. LEVELED CONC. FLOOR SLAB
- FE2** CERAMIC TILES. FLOORING
- FE3** EX. CONC. FLOORING

- CEILING TYPES**
- CE** EXISTING 5/8" G.B CEILING MIN. 15M F.R.R W/ SMOOTH PLASTER AT WATER BOURNE AREAS
 - ER** EXPOSED RAFTERS .

- S.A** WIRED SMOKE ALARM/ DETECTOR IN COMMON AREAS. USE INTERCONNECTED STROBE TYPE FOR ALL SLEEPING AREAS UNIT MUST CONFORM TO CAN/ULC-S531, CSA-6.19-01 & CAN/ULC-S52 & NFPA-72
 - C.M.A** CARBON MONOXIDE ALARM/DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL-2034
 - EF1** CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT MIN. 50CFM
 - EF2** CABINET MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT MIN. 200 CFM
 - R.A** HVAC AIR GRILL AT WALL MAX.1'-0" A.F.F
 - R.A** RETURN-AIR GRILL AT MAX. 1'-0" A.F.F
 - 120 VOLT DUPLEX RECEPTACLE
 - 220 VOLT 20 AMP. OUTLET
 - 120 VOLT DUPLEX RECEPTACLE WATERPROOF
 - WALL SWITCH
 - EMERGENCY LIGHT WITH EXIT SIGN
 - CEILING MOUNTED LIGHT
 - RECESSED INCANDESCENT POT LIGHT
 - MECH. EXHAUST
- NOTE:**
ALL NEW ELECTRICAL SERVICES CONFORMING TO O.B.C.2012 SECTION 9.34

ABBREVIATIONS LEGEND

CL.	CLOSET
CLG.	CEILING
CONC.	CONCRETE
COV.	COVERED
DN	DOWN
DO	DITTO
ELECT.	ELECTRICAL
EX.	EXISTING
FLR.	FLOOR
GALV.	GALVANIZED
H.C	HOLLOW CORE
HT.	HEIGHT
I/S	INSIDE
JST.	JOIST
MAX.	MAXIMUM
MIN.	MINIMUM /MINUTE
MNTD.	MOUNTED
N.L.B	NON-LOAD BEARING
P.F.	PRE-FINISHED
STL.	STEEL
SQ.M.	SQUARE METER
SQ.FT.	SQUARE FOOT
WD.	WOOD
W.I.	WALK IN

DOOR/WINDOWS SCHEDULE

TYPE	SIZE		DESCRIPTION
	WIDTH	HEIGHT	
D1	2'-8"	6'-8"	INTERIOR TYPE paneled DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D2	2'-6"	6'-8"	DO
DM	2'-10"	6'-8"	PROPOSED PREFINISH H.C. INSULATED METAL EXTERIOR TYPE DOOR W/ BOLTED LOCK ,ALUM.THRESHOLD AND DOOR STOP
DF	2'-8"	6'-8"	MIN. 20 MIN. FIRE-RATED INTERIOR TYPE DOOR W/ SELF-CLOSING DEVICE. EMERGENCY EXIT TYPE 1/S LOCK
DE	EXISTING DOOR TO REMAIN		

WINDOWS SCHEDULE

TYPE	SIZE		SILL LVL. (SL)	DESCRIPTION
	WIDTH	HEIGHT		
BW	+3'-6"	+3'-6"		EGRESS WINDOW MINIMUM AREA OF UNOBSTRUCTED OPENING NOT LESS THAN 0.38 M2(4.1 SQ.FT.)
EXW	EXISTING WINDOW TO REMAIN			

LINTEL SCHEDULE

LINTEL	OPENINGS	
STEEL LINTEL SL1	UPTO 54" OPENINGS	3.5"x3.5"x0.3125"
	UPTO 66" OPENINGS	4.0"x3.5"x0.3125"
WOOD LINTEL L1	UPTO 42" OPENINGS	2-2"x6"
	UPTO 66" OPENINGS	2-2"x8"
	UPTO 78" OPENINGS	3-2"x10"
	UPTO 90" OPENINGS	3-2"x12"

NOTE: PROVIDE MIN. 6" BEARING OF LINTEL AT B/S OF WALL

SPECIFICATIONS

1. GENERAL REQUIREMENTS

- CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
 - ALL MATERIALS SHALL BE FURNISHED AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE GRADES, OR STANDARDS OF MATERIALS, STANDARDS OF WORKMANSHIP AND MANUFACTURE'S SPECIFICATIONS LISTED OR MENTIONED.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. CONTRACTOR TO VERIFY STRUCTURE OF WALLS, FLOOR AND CEILING AT NEW ENTRANCES, WINDOWS, CANOPY AND EXTERIOR CLADDING.
 - INSPECT THE EXISTING SITE AND NOTE ANY CONDITIONS WHICH WOULD AFFECT THE WORK. NO CLAIM FOR AN ADDITION TO THE CONTRACT AMOUNT WILL BE CONSIDERED RESULTING FROM FAILURE TO BECOME FAMILIAR WITH ALL, APPARENT EXISTING SITE CONDITIONS.
- UNLESS OTHERWISE SPECIFIED, PROVIDE AND MAINTAIN ALL NECESSARY PROTECTION INCLUDING HOARDING, BARRICADES, WARNING LIGHTS AND SIGNS, BEFORE AND DURING DEMOLITION WORK.
- PROTECT ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND PIPING THAT IS TO REMAIN.
- PROTECT ALL EXISTING FINISH SURFACES WHICH ARE NOT SUBJECT TO DEMOLITION.
 - MAINTAIN PROPER ACCESS TO PREMISES.
 - MAKE GOOD DAMAGE TO SUCH STRUCTURES RESULTING FROM WORK UNDER THIS SECTION AT NO COST TO OWNER.
 - EXERCISE CAUTION IN DISMANTLING OR DISCONNECTING WORK ADJACENT TO EXISTING WORK DESIGNATED TO REMAIN.
 - MAKE GOOD ANY DEMOLITION TO THE EXISTING WORK BEYOND THAT NECESSARY FOR CARRYING OUT NEW WORK, AT NO EXPENSE TO THE OWNER.
 - CARRY OUT DEMOLITION AS SCHEDULED, IN A ORDERLY AND CAREFUL MANNER.
 - AT COMPLETION OF WORK, THE PREMISES SHALL BE LEFT BROOM CLEAN.
 - REPORT TO THE ARCHITECT AND INTERIOR DESIGNER ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS. CONTRACTOR TO MAINTAIN AT THE JOB SITE AN UPDATED SET OF DRAWINGS AND RECORD ANY CHANGES TO BUILDING PERMIT DRAWINGS.

2. SITE WORK

- MAINTAIN PROPER ACCESS TO THE SITE. PROVIDE ADEQUATE PROTECTION TO CURBS, SIDEWALKS AND LIGHTS. MAKE GOOD ANY DAMAGE AT NO COST TO THE OWNER.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, AND SURPLUS MATERIALS RESULTING FROM THE WORK.

3. CONCRETE

- CONCRETE MATERIALS SHALL CONFORM TO REQUIREMENTS OF CAN/CSA A23.1-M90, 266-M78
- BEFORE COMMENCING WORK, ENSURE THAT SURFACES ARE ACCEPTABLE TO RECEIVE AND MAINTAIN CONCRETE FINISHING AND THAT SPECIFIED INSTALLATION WILL BE ACHIEVED.
- PATCHING CONCRETE SHALL BE THOROUGHLY COMPACTED INTO PLACE AND FINISHED IN SUCH A MANNER AS TO MATCH ADJOINING CONCRETE. RUB DOWN TO GIVE UNIFORM, SMOOTH, FLUSH, MONOLITHIC SURFACE FREE OF ALL DEFECTS IN APPEARANCE TO ARCHITECTS APPROVAL.

4. MASONRY

- MAINTAIN DIMENSIONS, LINES AND LEVELS OF EXISTING WORK.
 - TAKE SPECIAL CARE OF ERECTING BLOCK WALLS TO WHICH OTHER SECTIONS WILL APPLY FINISHES, TO ENSURE TOLERANCES REQUIRED OF FOLLOWING SECTIONS CAN BE MET WITH REASONABLE CONSTRUCTION PROCEDURES (E.G. THIN SET APPLICATION OF GRANITE TILES.)
 - ALL MASONRY SHALL BE PATCHED AND REPAIRED USING METHODS AND MATERIALS TO MATCH EXISTING WORK.
- 5. METALS**
- CONFORM TO REQUIREMENTS OF CAN/CSA-G40.21 & M92 (HOT DIP GALV. PARTS)
 - WORK TO BE EXECUTED BY FIRM THOROUGHLY FAMILIAR WITH LAWS, BY-LAWS AND REGULATIONS WHICH GOVERN, AND CAPABLE OF WORKMANSHIP OF BEST GRADE AND FIELD PRACTISE KNOWN TO BE RECOGNIZED MANUFACTURE'S SPECIALIZING IN THIS WORK.

PAINT PRIMER TO BE ZINC CHROMATE CONFORMING TO CGSB 1-6P-40D. FINISH COLOUR TO BE AS PER APPROVED SAMPLE BY INTERIOR DESIGNER.

DUCT TYPE SMOKE DETECTOR

THE AIR DUCT SMOKE DETECTOR SHALL BE A SYSTEM SENSOR INNOVAIRFLEX DNR OR EQ. INTELLIGENT NON-RELAY PHOTOELECTRIC DUCT SMOKE DETECTOR AND DNRW WATERTIGHT NEMA4 DUCT SMOKE DETECTOR. THE DETECTOR HOUSING SHALL BE UL LISTED PER UL 268A SPECIFICALLY FOR USE IN AIR HANDLING SYSTEMS. THE FLEXIBLE HOUSING OF THE DUCT SMOKE DETECTOR FITS BOTH SQUARE AND RECTANGULAR FOOTPRINTS. THE DETECTOR SHALL OPERATE AT AIR VELOCITIES OF 100 FT/MIN TO 4000 FT/MIN (0.5 M/SEC TO 20.32 M/SEC). THE UNIT SHALL BE CAPABLE OF PROVIDING A TROUBLE SIGNAL IN THE EVENT THAT THE SENSOR COVER IS REMOVED OR IMPROPERLY INSTALLED. IT SHALL BE CAPABLE OF LOCAL TESTING VIA MAGNETIC SWITCH OR REMOTE TESTING USING THE RTS451KEY/RTS151KEY REMOTE TEST STATION. TERMINAL CONNECTIONS SHALL BE OF THE STRIP AND CLAMP METHOD SUITABLE FOR 12-18 AWG WIRING. ELECTRICAL RATINGS THE INNOVAIRFLEX SAMPLING TUBE MAY BE INSTALLED FROM THE FRONT OR BACK OF THE DETECTOR. THE TUBE LOCKS SECURELY INTO PLACE AND CAN BE REMOVED BY RELEASING THE FRONT OR REAR LOCKING TAB.

6. WOOD AND PLASTICS

- MATERIALS SHALL BE CAREFULLY CHECKED, UNLOADED STORED AND HANDLED TO PREVENT DAMAGE. PROTECT MATERIALS WITH SUITABLE NON-STAINING WATERPROOF COVERINGS.
- SUPPLY ALL LABOUR, MATERIALS, EQUIPMENT, SERVICES AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE ALL ROUGH CARPENTRY WORK, TO THE FULL INTENT OF THE DRAWINGS AND AS HEREIN SPECIFIED.
- ALL INTERIOR ROUGH CARPENTRY APPLIED TO WALLS, FLOORS, AND CEILING IS TO HAVE A FLAME SPREAD RATING OF 150 OR LESS.

7. THERMAL AND MOISTURE PROTECTION

- MAINTAIN EXISTING LEVELS OF INSULATION.
- ALL MATERIALS AND METHODS USED IN APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE PRINTED INSTRUCTIONS OF THE MANUFACTURER.
- INSTALL INSULATION TO MAINTAIN CONTINUITY OF THERMAL PROTECTION TO BUILDING ELEMENTS AND SPACES.
- INSTALL LOOSE INSULATION IN LOCATIONS AND THICKNESS SHOWN, AND FOR PACKING WHERE REQUIRED TO MAINTAIN THE INTEGRITY OF THE THERMAL BARRIER. SEAL JOINTS TO PREVENT THE TRANSFER OF MOISTURE.
- SEALANTS AND COLOUR TO BE SELECTED BY INTERIOR DESIGNER.
- CLEAN JOINTS AND SPACES TO BE CAULKED AND ENSURE THEY ARE DRY AND FREE OF DUST, LOOSE MORTAR, OIL, GREASE AND OTHER FOREIGN MATERIAL. CLEAN FERROUS MATERIALS OR RUST, MILL, SCALE AND FOREIGN MATERIALS BY WIRE BRUSHING, GRINDING OR SANDING.
- UPON COMPLETION, REMOVE MASKING AND SEALANT SMEARS AND DROPPINGS FROM ADJACENT AND OTHER SURFACES.
- PATCH AND REPAIR EXISTING WORK, REQUIRED DUE TO THE WORK OF THE CONTACT. USE THE EXACT SAME METHODS AND MATERIALS TO MATCH THE EXISTING WORK. WHERE IT IS NOT POSSIBLE, SUBMIT PROPOSALS TO THE INTERIOR DESIGNER FOR APPROVAL.

8. DOORS AND WINDOWS

- STEEL DOORS AND FRAMES:**
- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS, SHOW EACH TYPE OF FRAME, DOOR, HARDWARE BLANKING, REINFORCING TAPPING AND DRILLING ARRANGEMENTS, METAL GAUGES, THICKNESS AND FINISHES. SUBMIT DOOR AND FRAME SCHEDULE IDENTIFYING EACH UNIT. APPROVAL TO BE MADE BY INTERIOR DESIGNER.
 - MANUFACTURE SOLID CORE VENEERED AND PLASTIC LAMINATED FACED WOOD DOORS TO ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA LATEST REVISIONS, FOR PREMIUM GRADE SPECIALTY DOORS.
 - SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS ILLUSTRATING DOOR CONSTRUCTION FOR THE INTERIOR DESIGNER TO REVIEW.
- WOOD DOORS AND FRAMES:**
- EXECUTE THE GYPSUM WALLBOARD COMPLETE IN ALL RESPECTS AND FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP AFFECTING APPEARANCE AND PERFORMANCE.
 - EXAMINE AND CO-ORDINATE WORK WITH THE OTHER TRADES AND ENSURE THAT ANCHORS, GROUNDS, ELECTRICAL CONDUIT, WIRING AND MECHANICAL WORK, WHICH IS TO BE INSTALLED IN OR BEHIND WORK UNDER THIS CONTRACT HAS BEEN INSTALLED, TESTED AND APPROVED.
 - CONFORM TO CURRENT C.S.A. STANDARDS A82.30 AND A82.31, EXCEPT AS SPECIFIED OTHERWISE HEREIN.
 - FINISHED GYPSUM WALLBOARD SURFACES SHALL BE TRUE PLANES WITHIN 1/8 INCH WHEN CHECKED WITH 12 FEET STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE. SURFACES SHALL BE FREE FROM WAVES, IRREGULARITIES AND OTHER DEFECTS. VERTICAL SURFACES, PLUMB AND TRUE TO LINE, HORIZONTAL SURFACES LEVEL.

9. FINISHES

GYPSUM WALLBOARD:

CITY OF PICKERING
21-110282
BUILDING PERMIT NUMBER

Sheet title:
NOTES & LEGENDS

Project No.: 2018024	Date: 29-09-2021	Dwg. no.: A5.0
Checked By: SA	Scale: AS NOTED	REV. NO.: -
Drawn By: SF	Revisions	

Project
PROPOSED BASEMENT
FINISH PLAN AND BELOW
GRADE WALKOUT SIDE
ENTRANCE FOR 2ND
DWELLING AT 510
CHARWOOD,COURT,
PICKERING,ONT.L1V 4Y1

Owners:
MR.IQBAL ZAFAR
MR.SHAHZAD SAQIB



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A-9.9.10.1.(1) Bedroom Window Opening Areas and Dimensions.

Although the minimum opening dimensions required for height and width are 380 mm, a window opening that is 380 mm by 380 mm would not comply with the minimum area requirements. (See Figure A-9.9.10.1.(1))

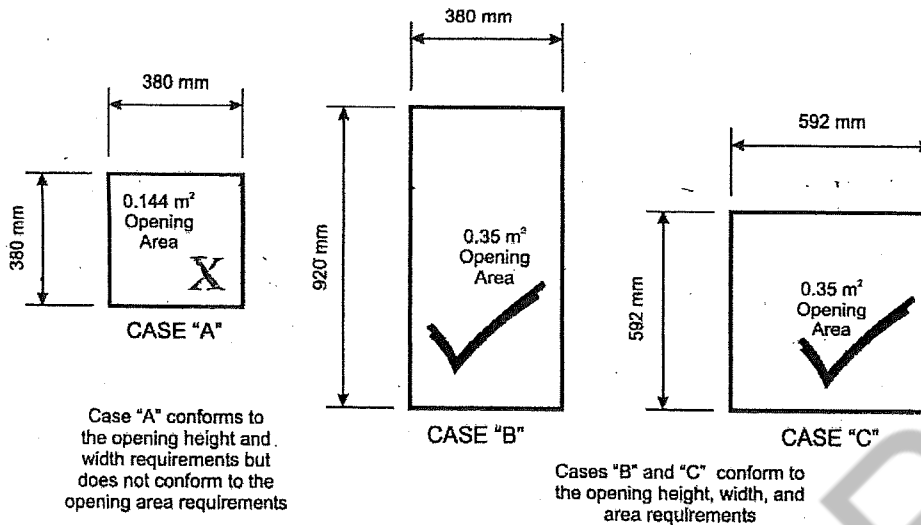


Figure A-9.9.10.1.(1)
Window Opening Areas and Dimensions

A-9.9.10.1.(2) Bedroom Window Height.

Sentence 9.9.10.1.(2) requires every floor level which contains a bedroom to have at least one window or door to the exterior that is large enough and easy enough to open that it can be used as an exit in case of a fire. However, Article 9.9.10.1. does not set a maximum sill height for such a window in a basement area. It is recommended that the sills of windows intended for use as emergency exits from basement bedroom areas be not higher than 1.5 m above the floor. Sometimes it is difficult to avoid having the sill higher than this; e.g., skylights, windows in basement bedrooms. In these cases, it is recommended that access to the window be improved by some means such as built-in furniture installed below the window. (See Figure A-9.9.10.1.(2))

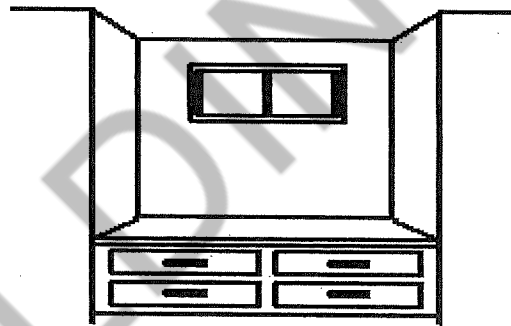


Figure A-9.9.10.1.(2)
Built-in Furniture to Improve Access to a Window

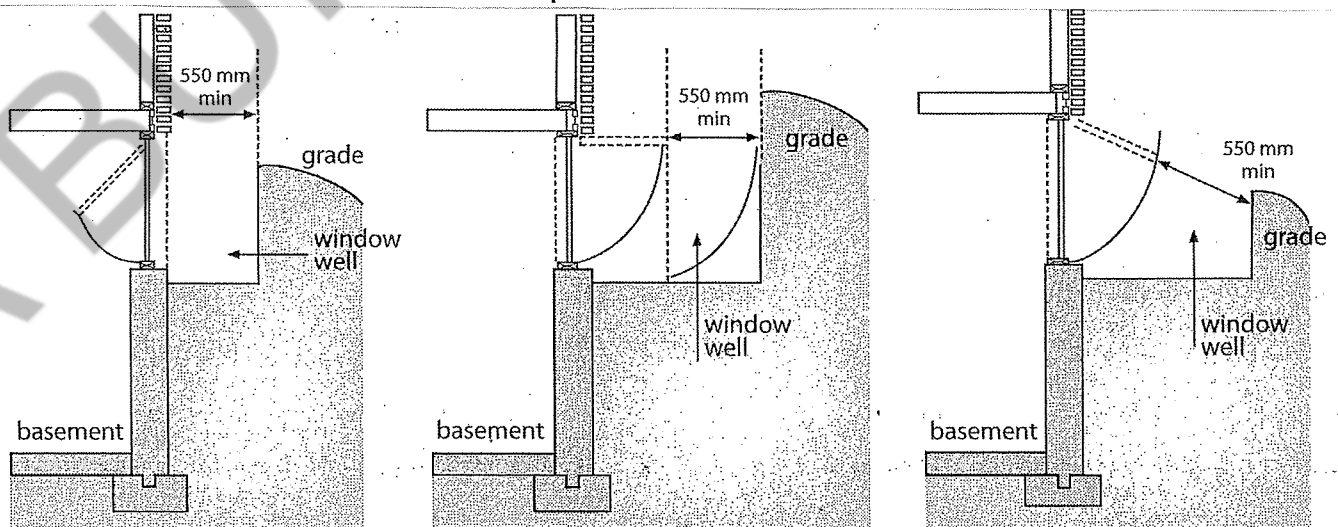
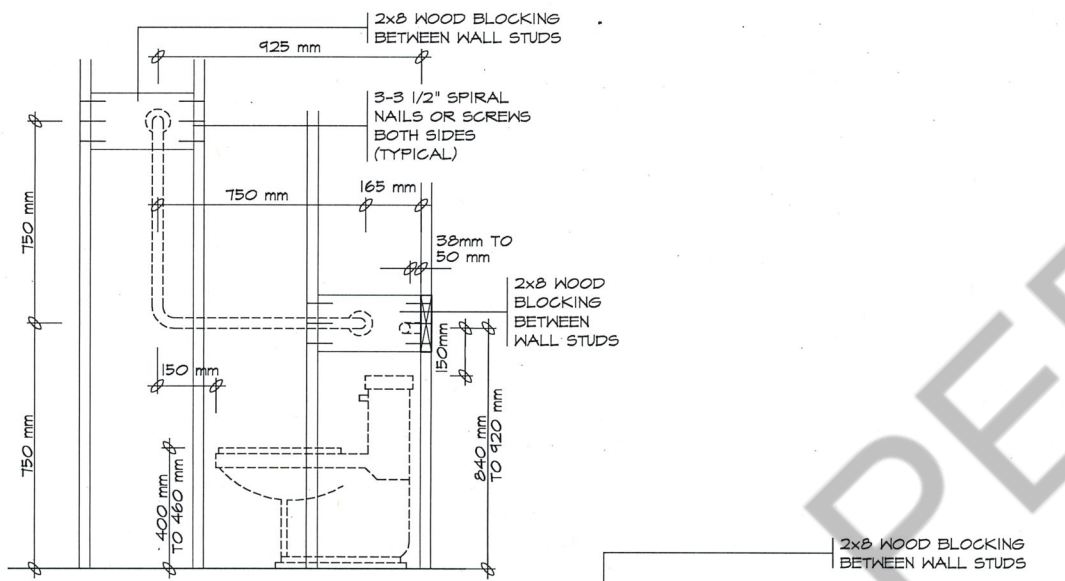
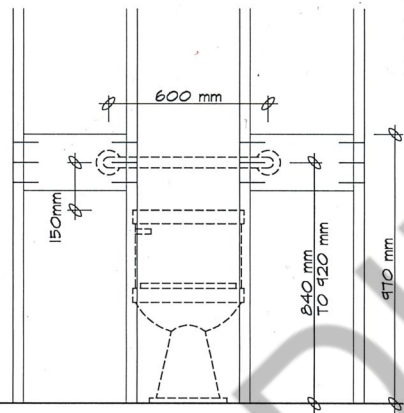


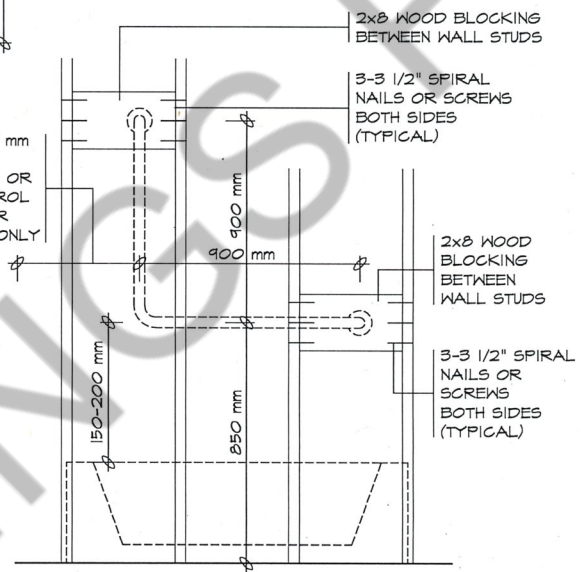
Figure A-9.9.10.1.(5)
Windows Providing a Means of Escape that Open into a Window Well.



W.C. SIDE ELEVATION



W.C. FRONT ELEVATION



SHOWER/TUB WALL SIDE ELEVATION

GRAB BAR REINFORCEMENT

REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN THE MAIN BATHROOM OF A DWELLING UNIT. IF GRAB BAR IS NOT INSTALLED AT TIME OF CONSTRUCTION, BLOCKING FOR BOTH CONFIGURATIONS AT SIDE OF WATER CLOSET IS REQUIRED. * 9.5.2.3.

GRAB BAR INSTALLATION SPECIFICATION

1. BESIDE WATER CLOSET

- OPTION 1
L-SHAPED GRAB BAR WITH 760mm LONG HORIZ. AND VERT. COMPONENTS MOUNTED W/ HORIZ. COMPONENT 750mm TO 900mm A.F.F. AND THE VERTICAL COMPONENT 150mm IN FRONT OF TOILET BOWL.
- OPTION 2
MIN. 760mm LONG GRAB BAR MOUNTED AT A 30° TO 50° ANGLE SLOPING UPWARDS AWAY FROM WATER CLOSET W/ LOWER END OF BAR MOUNTED 750mm TO 900mm A.F.F. AND 50mm IN FRONT OF TOILET BOWL.

2. BEHIND WATER CLOSET

MIN. 600mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL 840mm TO 920mm ABOVE THE FLOOR AND 150mm ABOVE THE WATER TANK IF APPLICABLE.

3. BEHIND BATHTUB OR SHOWER

L-SHAPED GRAB BAR MIN. 900mm LONG VERTICAL & HORIZONTALLY. HORIZONTAL COMPONENT WITHIN 100mm FROM EDGE OF SHOWER SEAT. HORIZONTAL COMPONENT 850mm ABOVE FINISH FLOOR & 150-200mm ABOVE TUB RIM

4. GRAB BAR ATTACHMENT

GRAB BAR MUST BE ATTACHED WITH SCREWS WHICH PENETRATE AT LEAST 32mm INTO THE SOLID BLOCKING.

**LMCBO
STANDARD
DETAILS**

TITLE
BARRIER FREE WASHROOM GRAB BAR WALL REINFORCING

DWG. NO.

NOTE: UNDER THE BUILDING CODE ACT, THE LOCAL MUNICIPALITY IS THE AUTHORITY HAVING JURISDICTION FOR ENFORCING THE ACT AND ITS REGULATIONS. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER TO ENSURE THAT ALL DESIGNS SUBMITTED FOR A PERMIT ARE IN ACCORDANCE WITH THE BUILDING CODE ACT, BUILDING CODE AND ANY OTHER APPLICABLE LAW.

HOI

2012