

BUILDING PERMIT

23 - 9228 ARU

Issued under authority of the ONTARIO BUILDING CODE ACT

Site Address: 3188 SEABRIGHT DR
Unit NO:
Description: RESIDENTIAL SECOND UNIT IN THE BASEMENT WITH ABOVE GRADE SIDE ENTRANCE, FINISHED BASEMENT AREA FOR PRINCIPAL RESIDENCE
Date Issued: 2023-11-20

Rick Conard
Chief Building Official
Building Division
Planning and Building Department

This card must be kept posted in a conspicuous place on site of construction

Planning and Building Department
300 City Centre Drive
Mississauga, ON L5B 3C1



MISSISSAUGA



Fee Transaction Report

Application No: SEC UNIT 23 - 9228 ARU
 Address: 3188 SEABRIGHT DR
 Description: RESIDENTIAL SECOND UNIT IN THE BASEMENT WITH ABOVE GRADE SIDE ENTRANCE, FINISHED BASEMENT AREA FOR PRINCIPAL RESIDENCE

Fee: \$1,132.00
 Tax Amount: \$0.00
 Total Fee: \$1,132.00
 Received: \$1,132.00
 Tax Amount: \$0.00
 Total Received: \$1,132.00

Outstanding Fee: \$0.00

These fees are calculated and collected in accordance with Building By-law 0203-2019.

Fees Payable: 2023-11-20

Fee Category	Qty	Rate	Total
APPLICATION FEE			\$1,132.00
GROUP C - RESIDENTIAL OCCUPANCIES NEW NEW BASEMENT APARTMENT	80.84 m2	\$11.00 / m2	\$890.00
GROUP C - RESIDENTIAL OCCUPANCIES NEW FINISHING BASEMENTS (DETACHED, SEMIS, TOWNHOUSES, DUPLEXES)	44.00 m2	\$5.48 / m2	\$242.00
Total			\$1,132.00
Calculated Total :			\$1,132.00
Total			\$1,132.00

GTA BUILDINGS PERMIT

- * The Minumum Application Fee was applied
- ** The Minimum Fee was applied
- *** The Maximum Fee was applied

The above calculation outlines the fees applicable at the time this project was pre-screened. These fees are valid until the end of the calendar year and are subject to change as a result of fee increases, review process or change in scope. The department review of this project will not commence until the above amount is paid. Any additional fees are to be paid prior to issuance of the building permit. All amounts have been rounded up to the nearest dollar.



Fee Transaction Report

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 Total Received: \$1,132.00

Outstanding Fee: \$0.00

These fees are calculated and collected in accordance with Building By-law 0203-2019.

Fees Received To-Date: 2023-11-20

Fee Category	Amount	Tax	Total
ADMINISTRATIVE FEE - ONLINE Payment Type: MasterCard Payment Location: Online Transaction Date: 2023-08-29 Comments: Fees Paid for ePlans request.	\$20.00	\$0.00	\$20.00
PERMIT FEE Payment Type: Visa Payment Location: Online Transaction Date: 2023-09-11 Comments: Fees Paid for ePlans request.	\$1,112.00	\$0.00	\$1,112.00
Total	\$1,132.00	\$0.00	\$1,132.00

GTA BUILDINGS PERMIT

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BUILDING PERMIT NOTICE

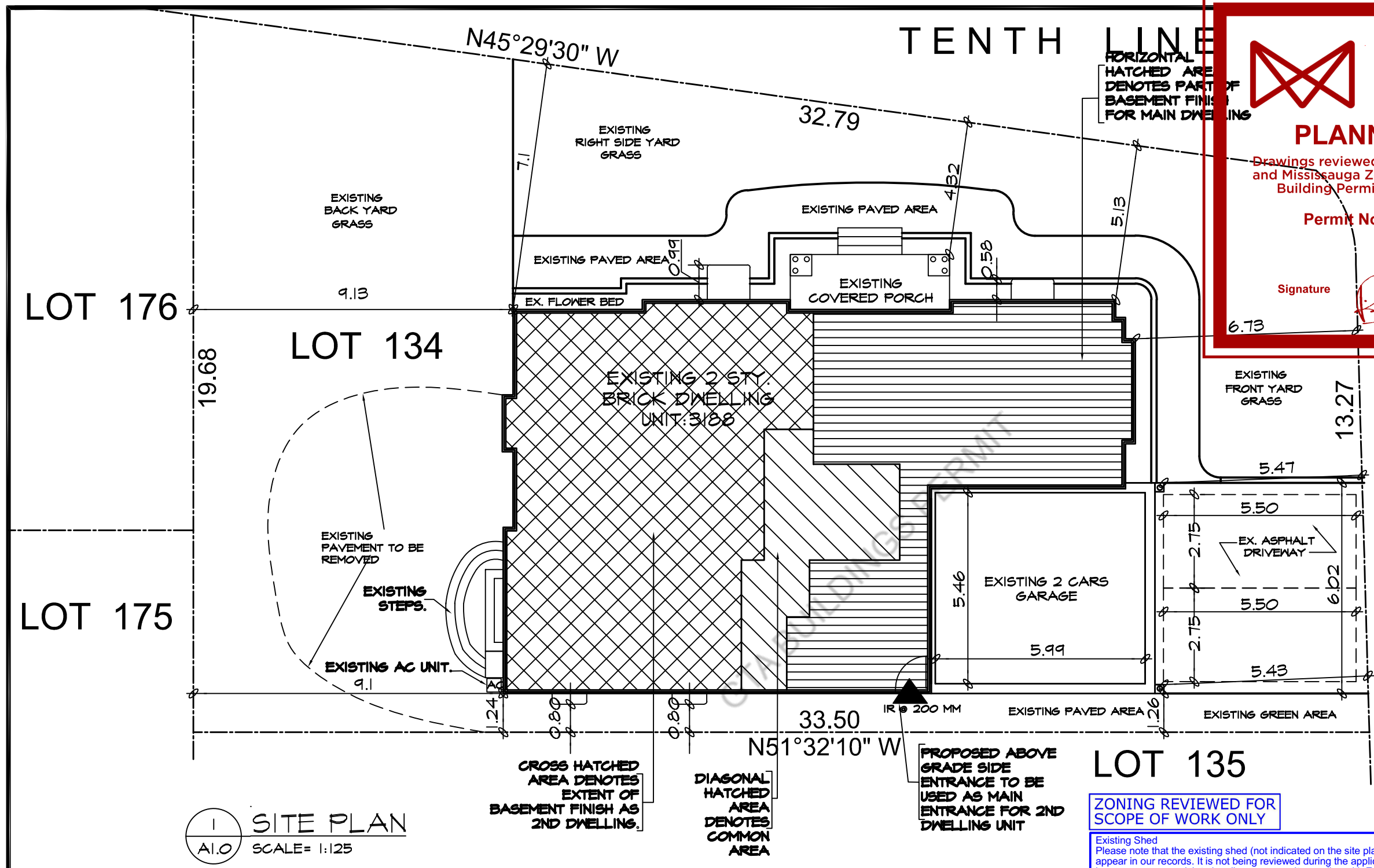


City of Mississauga
Planning and Building Department
300 City Centre Drive
MISSISSAUGA, ON L5B 3C1

Permit#	SEC UNIT 23 9228 ARU	Web Access ID	6QZ4O4KH	Issuance Date	2023-11-20
Municipal Address	3188 SEABRIGHT DR		Bldg	Unit	
Legal Description	L 134 PLAN M-1702				
Type	DETACHED DWELLING				
Scope	ALTERATION TO EXISTING BLDG				
Class	STRUCTURAL COMPONENT PLUMBING COMPONENT MECHANICAL COMPONENT				
Owner Information	KAMRAN/ BEENA, RAIS/ KAMRAN 3188 SEABRIGHT DR MISSISSAUGA, ON				
Builder/Contractor					
Description	RESIDENTIAL SECOND UNIT IN THE BASEMENT WITH ABOVE GRADE SIDE ENTRANCE, FINISHED BASEMENT AREA FOR PRINCIPAL RESIDENCE				
Air Cond Req'd	N/A				
Comments	PLUMBING - AS PER DRAWINGS HVAC - AS PER DRAWINGS				

<p>REQUIRED INSPECTIONS Notice of the readiness for inspection shall be given to the Chief Building Official at prescribed stages of construction. Refer to Schedule "E" of the Building By-law at http://www7.mississauga.ca/documents/bylaws/building_by-law_2014.pdf for prescribed stages.</p> <p>SCHEDULING INSPECTIONS Inspections can be scheduled any time online at www.mississauga.ca/inspections using the Permit # and Web Access ID noted above, or during business hours at 905-896-5660 for Building, Plumbing, HVAC, and Sign inspections, and 905-896-5908 for Fire inspections. Inspections must be scheduled at least two days in advance.</p> <p>CONSTRUCTION MUST COMPLY Construction must be completed in accordance with the issued building permit documents and the Ontario Building Code.</p>	<p>BUILDING PERMIT DOCUMENTS ON SITE Building Permit Notice and all supporting documents and drawings must be kept and maintained on site at all times. No person shall amend the building permit documents without authorization from the Chief Building Official.</p> <p>OCCUPANCY OR USE AFTER COMPLETION No person shall occupy or use a building until notice of completion is given to the Chief Building Official, and the building has been inspected and approved.</p> <p>REVOCATION OF BUILDING PERMIT The Chief Building Official may revoke permit if issued on mistaken, false or incorrect information; if construction is not commenced within six months after date of permit issuance; or, if construction is suspended or discontinued for a period of more than one year.</p>
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This permit is issued in accordance with the Building Code Act and Ontario Regulation 332/12. For greater clarity, this permit does not grant the permit holder with any rights outside of those permitted by the Building Code Act and Ontario Regulation 332/12 which includes, but is not limited to, any right to occupy, obstruct or close any street, sidewalk or boulevard or any part thereof either temporarily or permanently. A separate 'Road Occupancy Permit' is required for encroachments on public property and/or connecting to the public storm sewer. Street or lot grades as well as depth and location of public sewers may be obtained from the City of Mississauga's Transportation and Works Department. The issuance of this permit does not release the permit holder from any obligations set out by applicable law including municipal by-laws and any applicable City of Mississauga policies. Please contact 3-1-1 or refer to mississauga.ca for more information.



1 SITE PLAN
A1.0 SCALE= 1:125

CROSS HATCHED AREA DENOTES EXTENT OF BASEMENT FINISH AS 2ND DWELLING.
DIAGONAL HATCHED AREA DENOTES COMMON AREA

PROPOSED ABOVE GRADE SIDE ENTRANCE TO BE USED AS MAIN ENTRANCE FOR 2ND DWELLING UNIT

ZONING REVIEWED FOR SCOPE OF WORK ONLY
Existing Shed
Please note that the existing shed (not indicated on the site plan) does not appear in our records. It is not being reviewed during the application permit, however you may wish to legalize or ensure it complies with Zoning Regulations 4.1.2 in Zoning By-law 0225-2007.



MISSISSAUGA
PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown hereon.

Permit No: **SEC UNIT 23-9238**
2023-11-20

Signature: *[Signature]*
Rick Gendron
Chief Building Official

Project No: 2018004
Scale: AS NOTED
Date: 21-08-2023
11-10-2023

Scale: AS NOTED
Date: 21-08-2023
11-10-2023

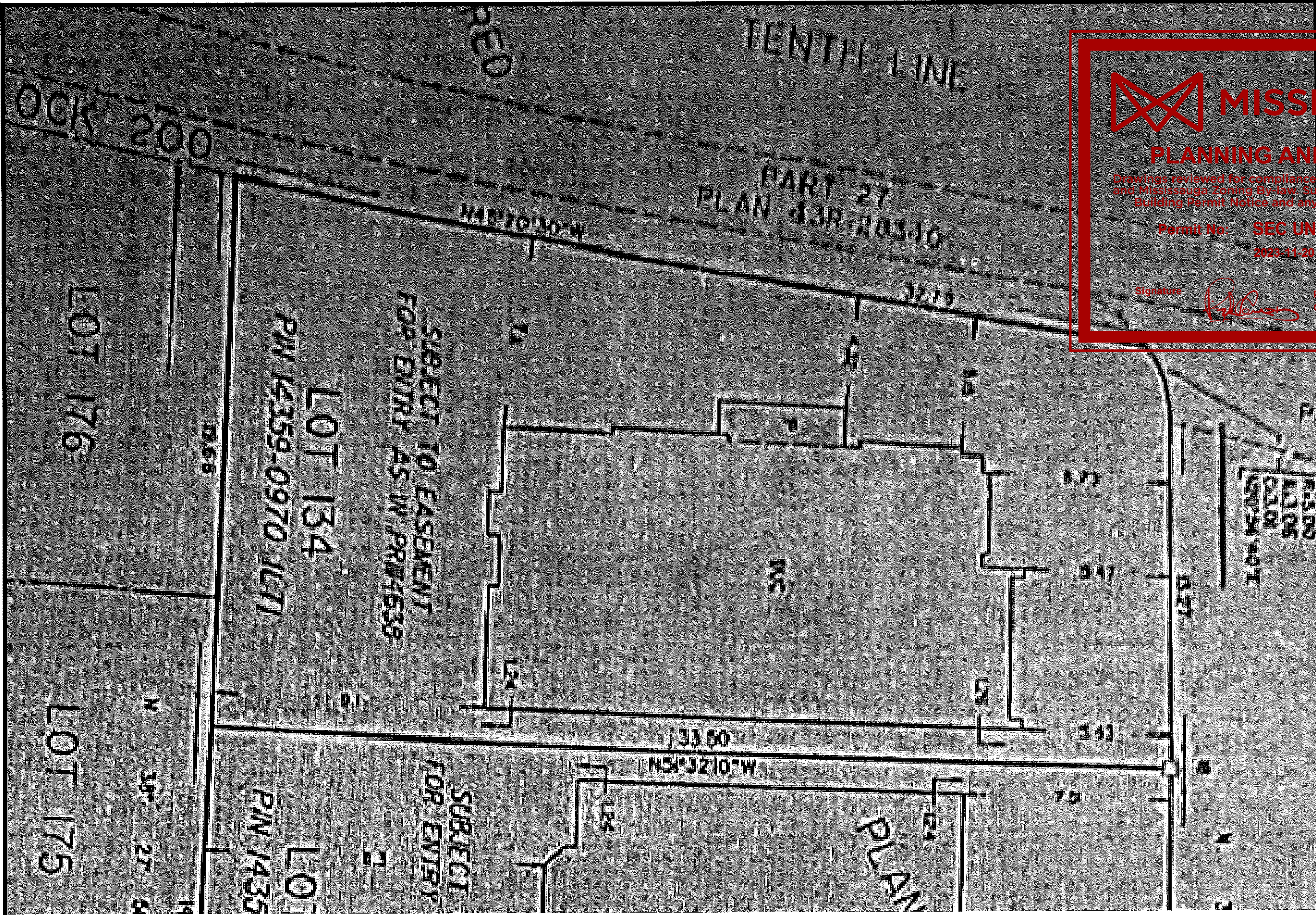
Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
Owners: RAIS KAMRAN, KAMRAN BEENA



ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 MAIN STREET NORTH,
BRAMPTON, ON, L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
e-mail: archisystem@gmail.com

SITE DATA		M/SM	EXISTING	PROPOSED
ZONING		R6-3		TOTAL BASEMENT FINISH AREA=153.82 SQ.M. (MEASURED FROM THE OUTER FACE OF EXTERIOR WALL INCLUDING MECHANICAL ROOM)
PLAN NO:		M-1702		G.F.A SECOND UNIT % CALCULATION (FROM BASEMENT OUTER WALLS): [FOR ZONING]
LOT NO:		134		[G.F.A OF THE SECOND UNIT / G.F.A OF THE ENTIRE BASEMENT+ ENTIRE MAIN FLOOR (EXCLUDING GARAGE & PORCH)+ENTIRE SECOND FLOOR]
LOT AREA		606.83 SQ.M		G.F.A-2ND UNIT(EXCL. FURNACE FROM THE CENTER OF PARTY WALLS) =80.84 SQ.M.
			BUILDING AREA (G.F) (INCL.GARAGE+FRONT PORCH)	G.F.A-BASEMENT(OVERALL BASEMENT INCLUDING MECHANICAL ROOM) =153.82 SQ.M.
			LOT COVERAGE	G.FA-PRINCIPAL UNIT (ENTIRE MAIN FLOOR EXCLUDING GARAGE & PORCH+ENTIRE 2ND FLOOR) =366.11 SQ.M.
			FLOOR AREA GROUND FLOOR	G.FA-2ND UNIT % =15.54%
			FLOOR AREA 2ND FLOOR	
			GROSS FLOOR AREA (GRD+2ND FL EXCL. GARAGE & PORCH)	
			BASEMENT AREA (UNFINISHED)	
				EX. LOT COVERAGE & GROSS FLOOR AREA UNCHANGED



1 SURVEY PLAN
A1.1 SCALE= N.T.S



MISSISSAUGA
PLANNING AND BUILDING

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Permit No: **SEC UNIT 23-9228**
2023-11-20


Signature: *[Signature]*

Project No:	118024
Drawn By:	SF
Date:	21-08-23
Scale:	AS SHOWN
Revisions:	
Sheet title:	SURVEY PLAN
Project:	PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
Owners:	RAIS KAMRAN KAMRAN BEENA

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4

Owners: RAIS KAMRAN, KAMRAN BEENA

ENGINEER

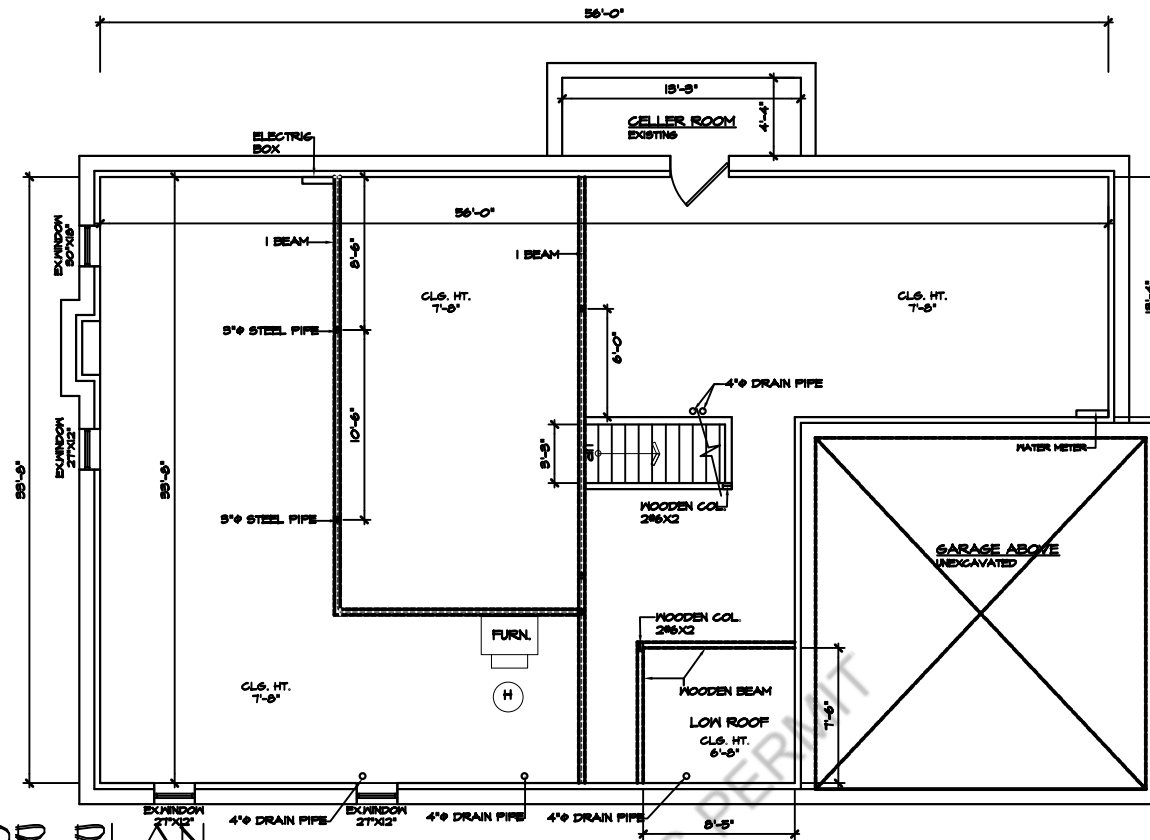


R. W. GUMMING
0190133

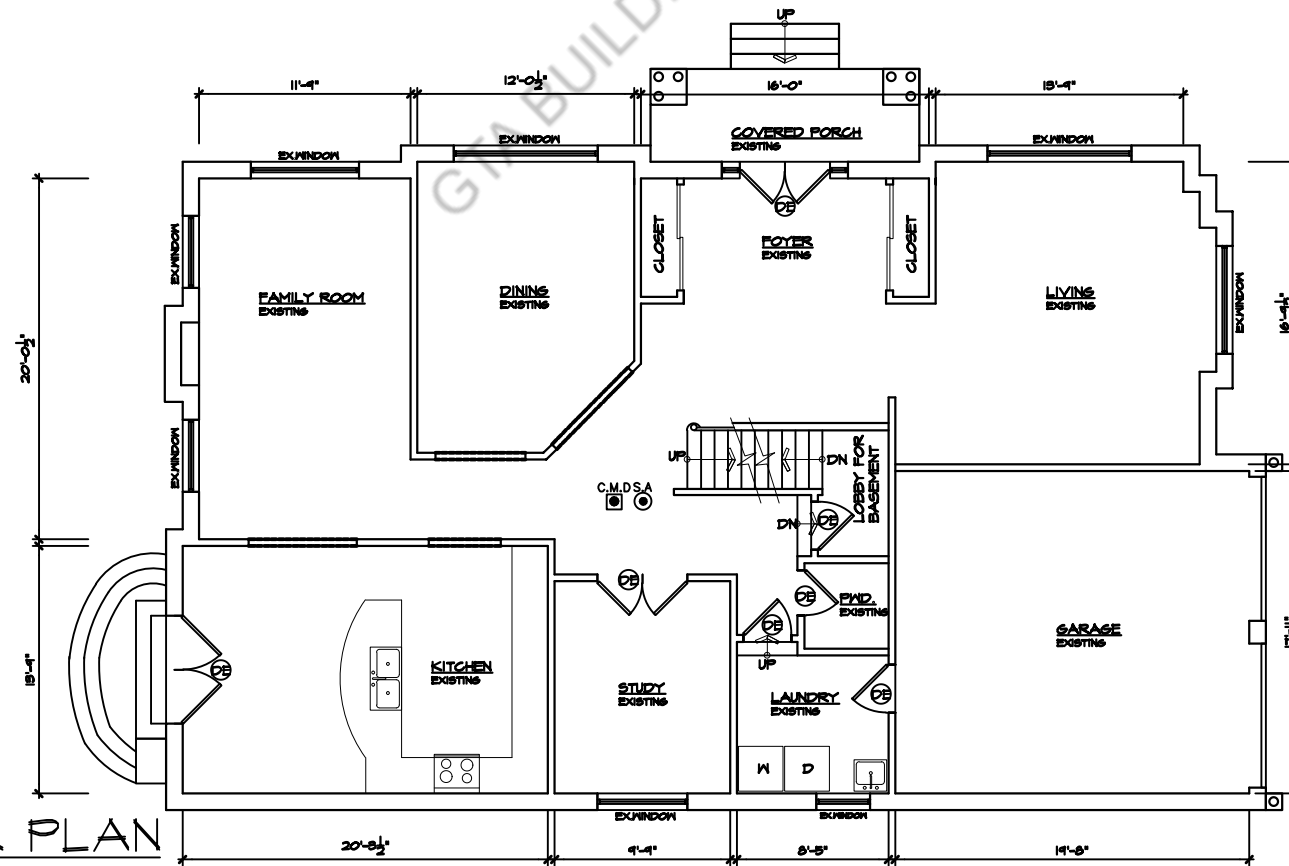
ARCHITECTS

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE #5465

279 MAIN STREET NORTH,
BRAMPTON, ON, L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchsystem.com
e-mail: atchsystem@gmail.com



1 EXISTING BASEMENT FLOOR PLAN
A2.0 SCALE= 3/32"=1'-0"



1 EXISTING FIRST FLOOR PLAN
A2.0 SCALE= 3/32"=1'-0"



MISSISSAUGA

PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to be operated on the Building Permit Notice and any markings thereon.

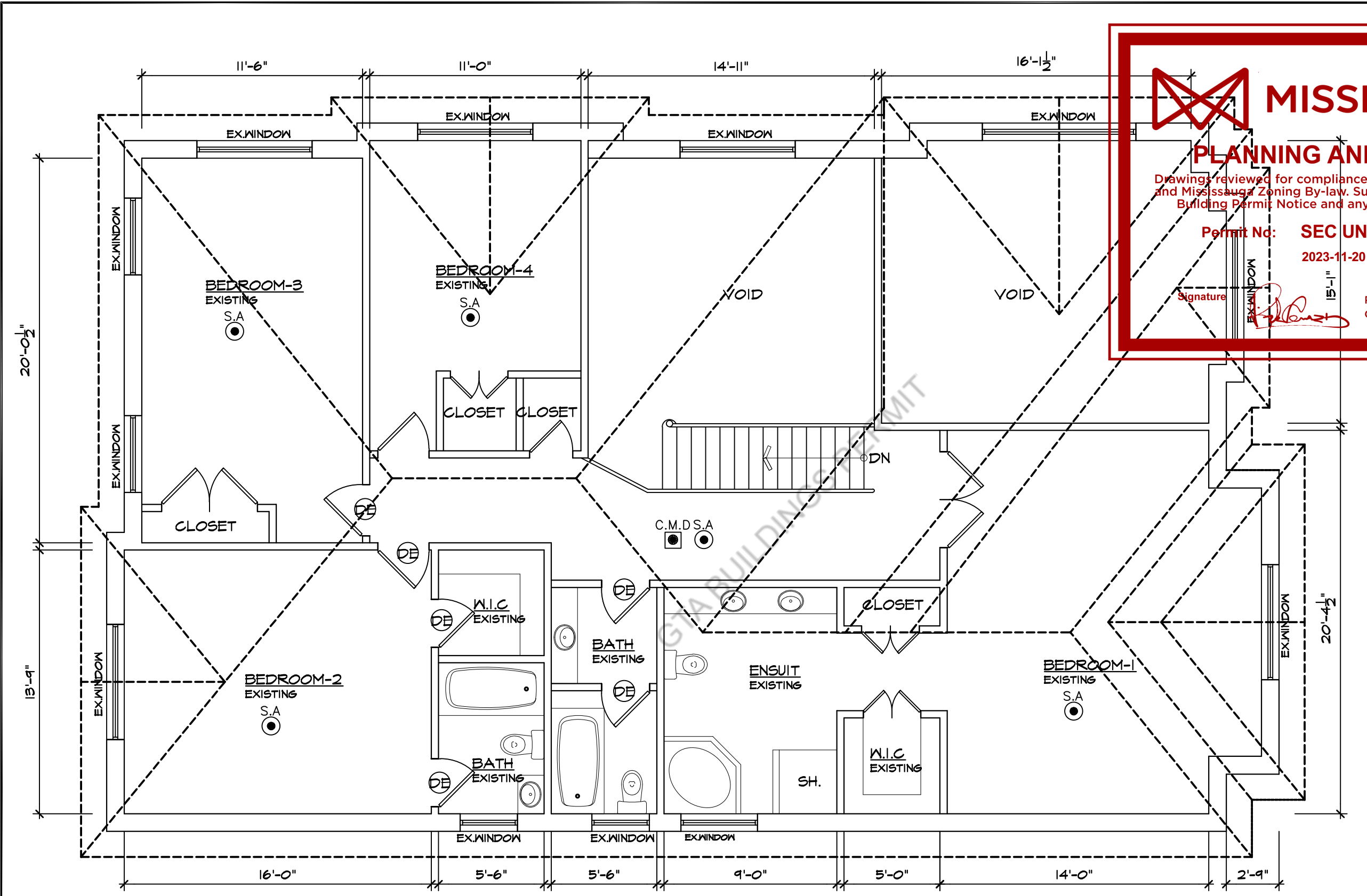
Permit No: SEC UNIT 23-9228
2023-11-20

Signature: 

Sheet title: EXISTING FLOOR PLAN	Project No: 21-08-2023
Drawn By: SA	Date: 21-08-2023
Checked By: SF	Drawn By: SA
Revisions	Drawn By: SA
▲	▲

Project
PROPOSED BASEMENT
FINISH PLAN FOR 2ND
DWELLING UNIT AT
3100 SEABRIGHT
DRIVE,
MISSISSAUGA,
ONT. L5M 0B4
Owners:
RAIS KAMRAN
KAMRAN BEENA





MISSISSAUGA

PLANNING AND BUILDING

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Permit No: **SEC UNIT 23-9228**
2023-11-20

Signature: *[Signature]*

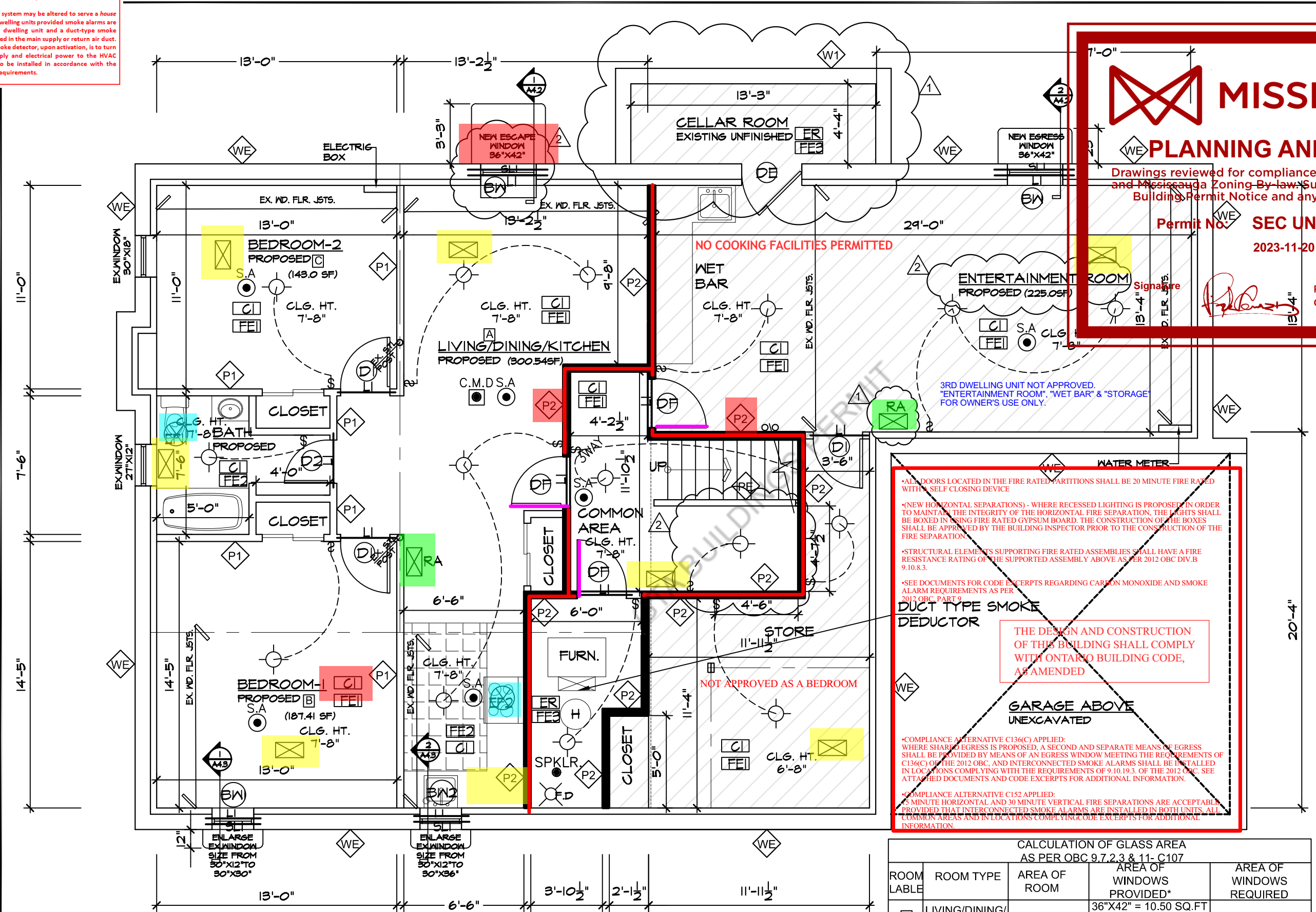
Project No:	Date:	Drawn By:	Revisions:
23-9228-20	2023-11-20	S.A.	
Sheet title:	Scale:	Revisions:	
EXISTING SECOND FLOOR PLAN	1/8" = 1'-0"		

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA



1 EXISTING SECOND FLOOR PLAN
 A2.1 SCALE = 3/16" = 1'-0"

HVAC System
 An existing HVAC system may be altered to serve a house containing two dwelling units provided smoke alarms are installed in each dwelling unit and a duct-type smoke detector is installed in the main supply or return air duct. The duct-type smoke detector, upon activation, is to turn off the fuel supply and electrical power to the HVAC system, and is to be installed in accordance with the manufacturer's requirements.



MISSISSAUGA

PLANNING AND BUILDING

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Permit No: SEC UNIT 219228

2023-11-20

Signature: *[Signature]*
 Richard [Name], Chief Building Official

Sheet title: PROPOSED BASEMENT PLAN	Project No: 2024	Date: 2023-11-20
Drawn By: [Name]	Scale: AS SHOWN	Revisions:
		1 11-10-2023
		2 07-11-2023

*ALL DOORS LOCATED IN THE FIRE RATED PARTITIONS SHALL BE 20 MINUTE FIRE RATED WITH A SELF CLOSING DEVICE

*(NEW HORIZONTAL SEPARATIONS) - WHERE RECESSED LIGHTING IS PROPOSED IN ORDER TO MAINTAIN THE INTEGRITY OF THE HORIZONTAL FIRE SEPARATION, THE LIGHTS SHALL BE BOXED IN USING FIRE RATED GYPSUM BOARD. THE CONSTRUCTION OF THE BOXES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO THE CONSTRUCTION OF THE FIRE SEPARATION.

*STRUCTURAL ELEMENTS SUPPORTING FIRE RATED ASSEMBLIES SHALL HAVE A FIRE RESISTANCE RATING OF THE SUPPORTED ASSEMBLY ABOVE AS PER 2012 OBC DIV. B 9.10.8.3.

*SEE DOCUMENTS FOR CODE EXCERPTS REGARDING CARBON MONOXIDE AND SMOKE ALARM REQUIREMENTS AS PER 2012 OBC PART 9

DUCT TYPE SMOKE DEDUCTOR

THE DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED

GARAGE ABOVE UNEXCAVATED

*COMPLIANCE ALTERNATIVE C136(C) APPLIED: WHERE SHARED EGRESS IS PROPOSED, A SECOND AND SEPARATE MEANS OF EGRESS SHALL BE PROVIDED BY MEANS OF AN EGRESS WINDOW MEETING THE REQUIREMENTS OF C136(C) OF THE 2012 OBC, AND INTERCONNECTED SMOKE ALARMS SHALL BE INSTALLED IN LOCATIONS COMPLYING WITH THE REQUIREMENTS OF 9.10.19.3. OF THE 2012 OBC. SEE ATTACHED DOCUMENTS AND CODE EXCERPTS FOR ADDITIONAL INFORMATION.

*COMPLIANCE ALTERNATIVE C152 APPLIED: 15 MINUTE HORIZONTAL AND 30 MINUTE VERTICAL FIRE SEPARATIONS ARE ACCEPTABLE PROVIDED THAT INTERCONNECTED SMOKE ALARMS ARE INSTALLED IN BOTH UNITS, ALL COMMON AREAS AND IN LOCATIONS COMPLYING WITH CODE EXCERPTS FOR ADDITIONAL INFORMATION.

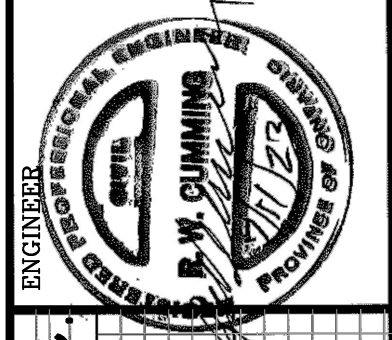
CALCULATION OF GLASS AREA
AS PER OBC 9.7.2.3 & 11- C107

ROOM LABEL	ROOM TYPE	AREA OF ROOM	AREA OF WINDOWS PROVIDED*	AREA OF WINDOWS REQUIRED
A	LIVING/DINING/KITCHEN	300.54 SQ.FT	36"X42" = 10.50 SQ.FT 30"X36" = 7.5 SQ.FT TOTAL = 18 SQ.FT	5% = 15.02 SQ.FT.
B	BEDROOM-1	187.41 SQ.FT	27"X30" = 5.62 SQ.FT	2.5% = 4.68 SQ.FT.
C	BEDROOM-2	143.00 SQ.FT	30"X18" = 3.75 SQ.FT	2.5% = 3.57 SQ.FT.

NOTE*: 90% OF TOTAL WINDOW AREA

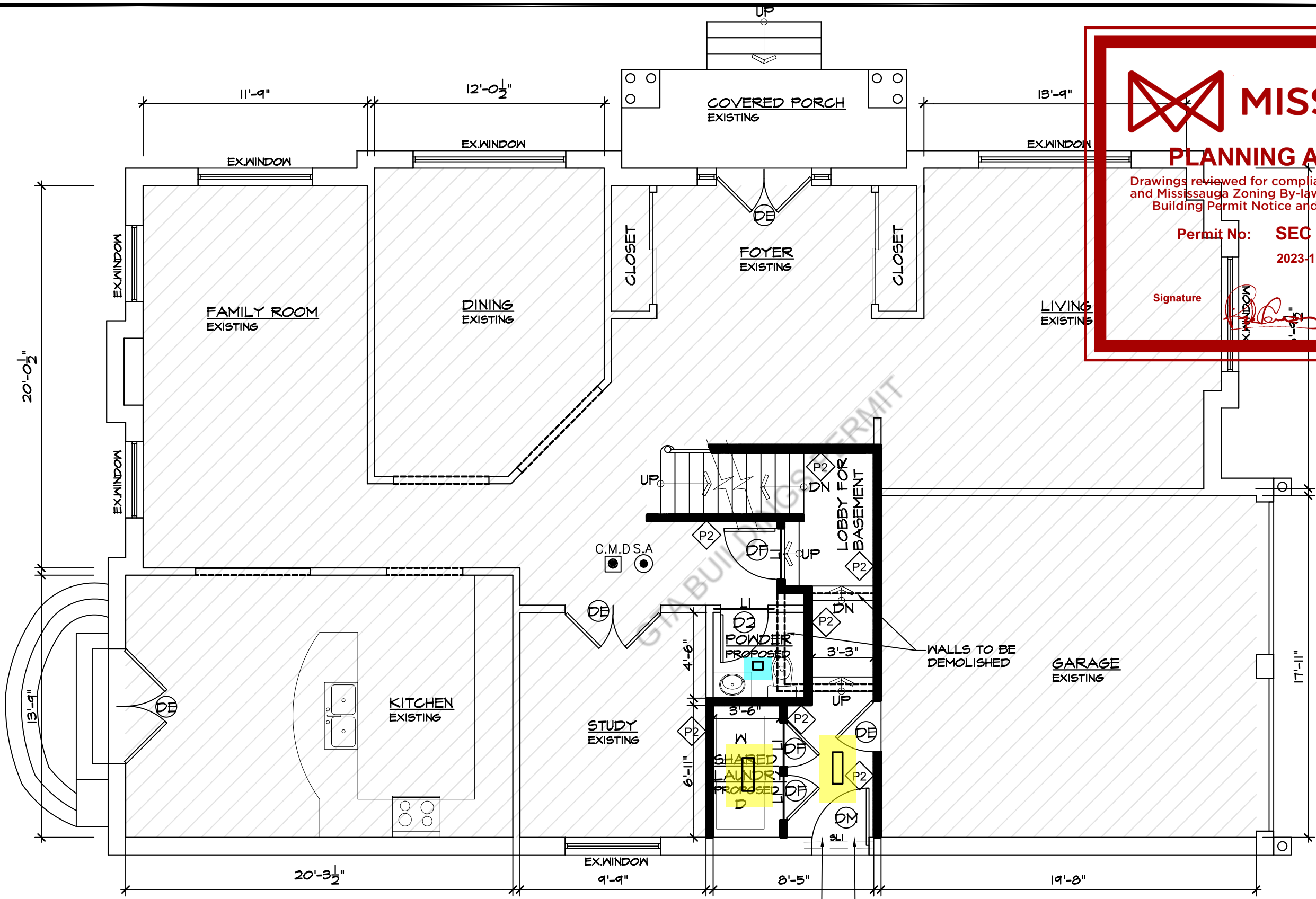
1 PROPOSED BASEMENT FLOOR PLAN
 A2.2 SCALE= 3/16"=1'-0"
 □ DIAGONAL HATCH AREA SHOWS PART OF MAIN DWELLING

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA




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 www.thearchisystem.com
 e-mail: archisystem@gmail.com



1 OVERALL FIRST FLOOR PLAN
 A2.3 SCALE= 3/16"=1'-0"



MISSISSAUGA
PLANNING AND BUILDING

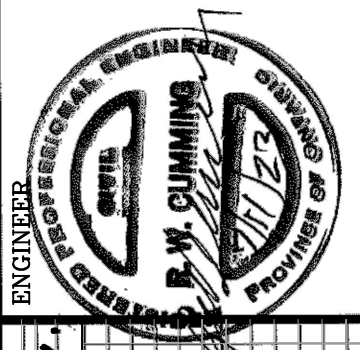
Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to approval on the Building Permit Notice and any markings thereon.

Permit No: **SEC UNIT 23-9228**
 2023-11-20

Signature: *[Signature]*

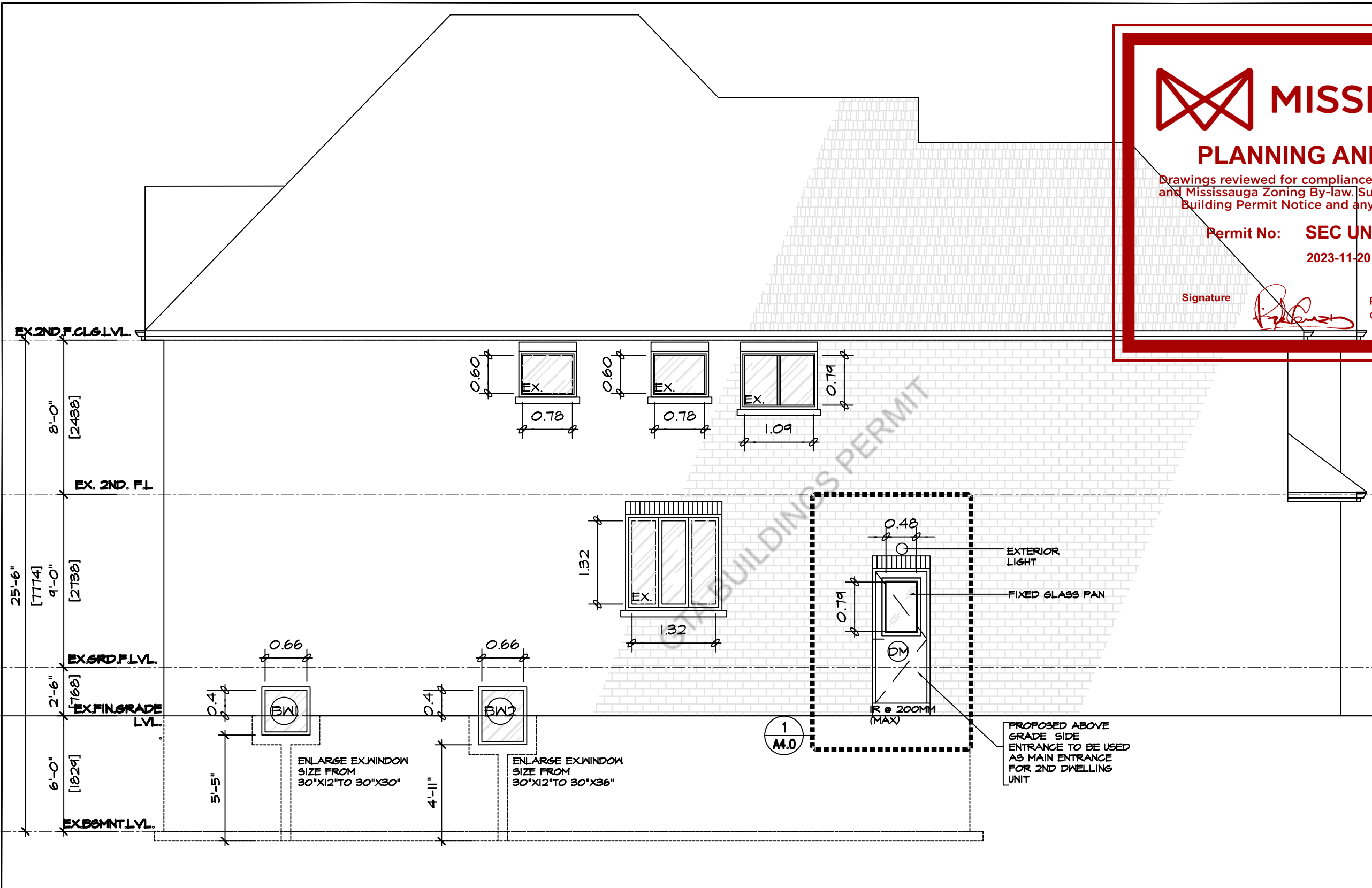
Sheet title: OVERALL FIRST FLOOR PLAN	Project No: 2024	Date: 2023-11-20	Drawn By: SF	Checked By: Official
Revisions	Rev. no.			

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA



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MISSISSAUGA

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Permit No: **SEC UNIT 239228**
2023-11-20

Signature: *[Signature]*

Project No:	239228	Date:	2023-11-20
Drawn By:	SA	Checked By:	SA
Revisions:		Project No.:	239228
		Date:	2023-11-20
		Drawn By:	SA
		Checked By:	SA

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA




1 LEFT SIDE ELEVATION
 A3.0 SCALE = 3/16" = 1'-0"

CALCULATION OF UNPROTECTED OPENINGS OBC 2012 (9.10.15.4)

TOTAL EXPOSED WALL AREA	=[108.58 SQ.M]
EXISTING U/P/PROTECTED WINDOW AREA	=3.09 SQ.M
NEW U/P WINDOW AREA	=0.54 SQ.M
TOTAL U/P WINDOW AREA	=3.63 SQ.M
LIMITING DISTANCE	=1.2M
%AGE ALLOWED @ 1.2M <100 SQ.M	=7% =7.6 SQ.M
%AGE OF TOTAL UNPROTECTED WINDOWS PROPOSED	=3.3% =3.6SQ.M






MISSISSAUGA

PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to report on the Building Permit Notice and any markings on drawings thereon.

Permit No: SEC UNIT 239228
2023-11-20

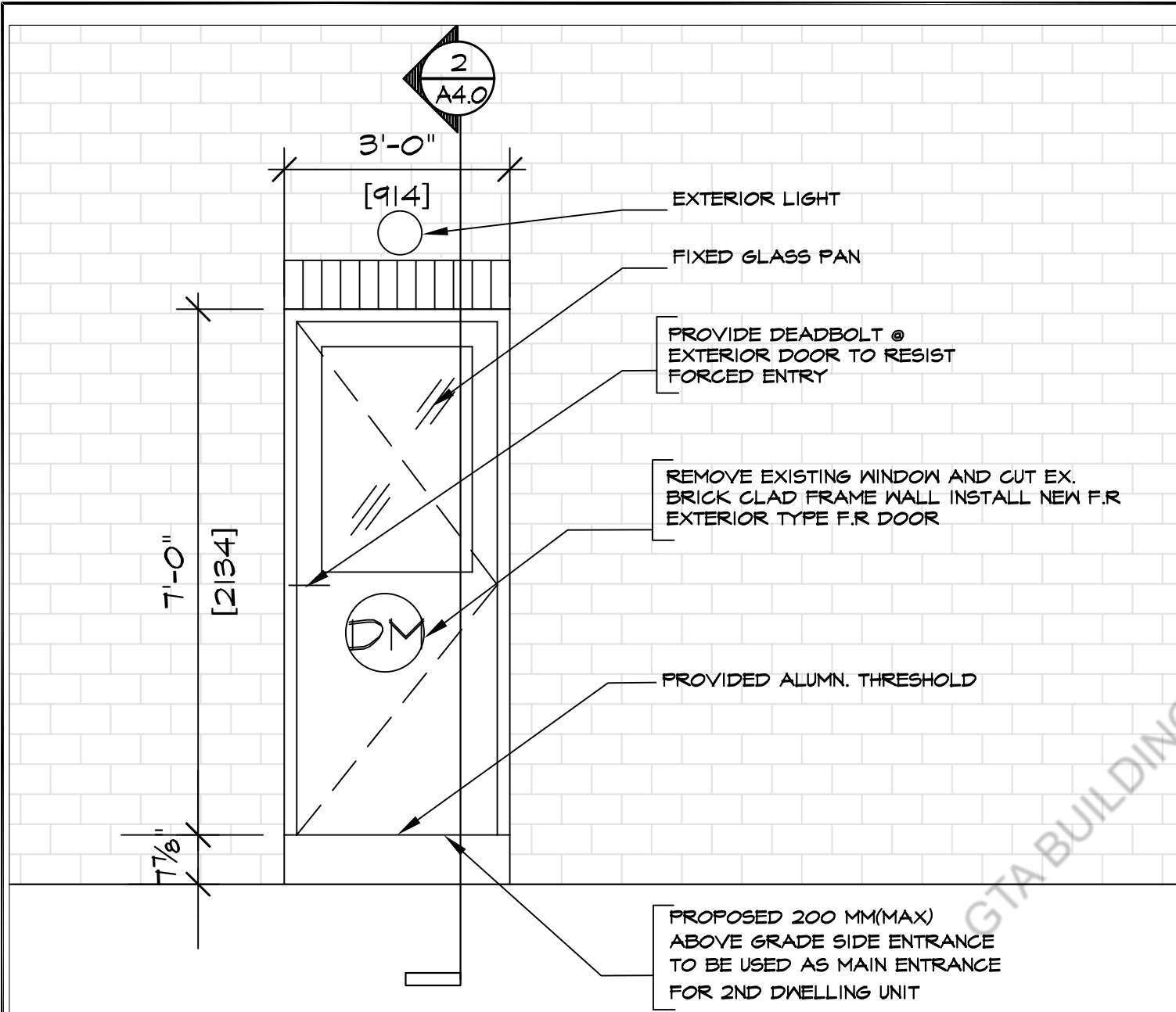
Signature: 

Project No:	239228	Date:	2023-11-20
Sheet title:	RIGHT SIDE ELEVATION	Revisions:	
Drawn By:	SF	Checked By:	Official

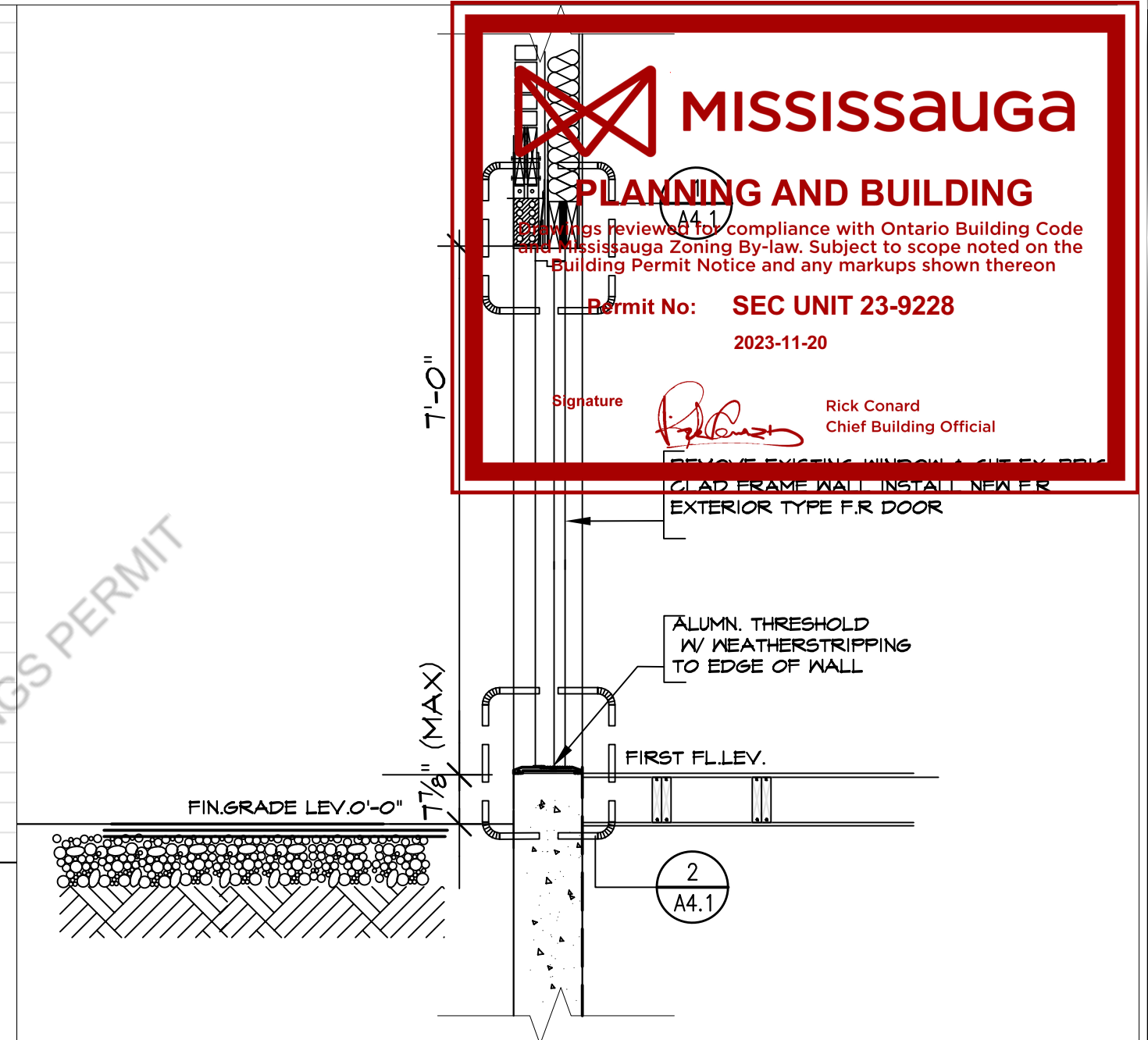
Project
PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA



1 RIGHT SIDE ELEVATION
 A3.1 SCALE = 3/16" = 1'-0"



1 PROPOSED SIDE ENTRANCE DOOR
A4.0 SCALE= 1/2"=1'-0"



2 SECTION DETAIL OF SIDE ENTRANCE DOOR
A4.0 SCALE= 1/2"=1'-0"

MISSISSAUGA

PLANNING AND BUILDING

All drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown thereon

Permit No: SEC UNIT 23-9228
2023-11-20

Signature: *Rick Conard*
Rick Conard
Chief Building Official

ENGINEER

R. W. CUMMING
23/08/23

Project
PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4

Owners:
RAIS KAMRAN
KAMRAN BEENA

Sheet title: ENLARGE ELEVATION & SECTION		
Drawn By: SF	Checked By: SA	Project No.:
Revisions	Scale: AS NOTED	Date: 21-08-2023
△		D'wg. no.
△		A4.0
△		REV. NO: -



MISSISSAUGA

PLANNING AND BUILDING

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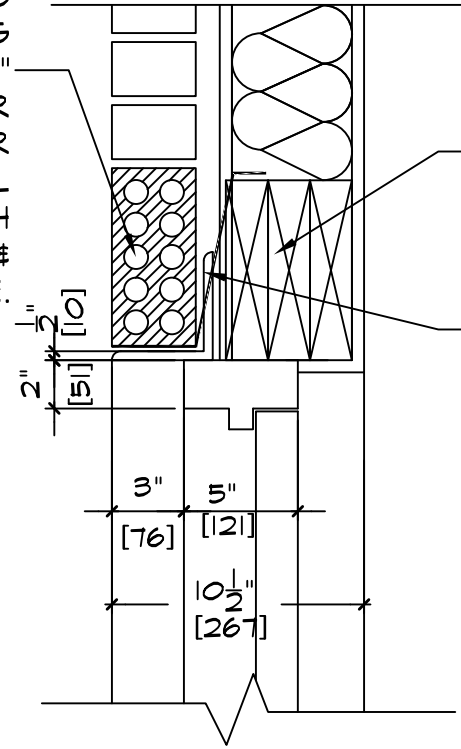
Permit No: **SEC UNIT 23-0238**
2023-11-20

Signature

Rick Gonzalez
Chief Building Official

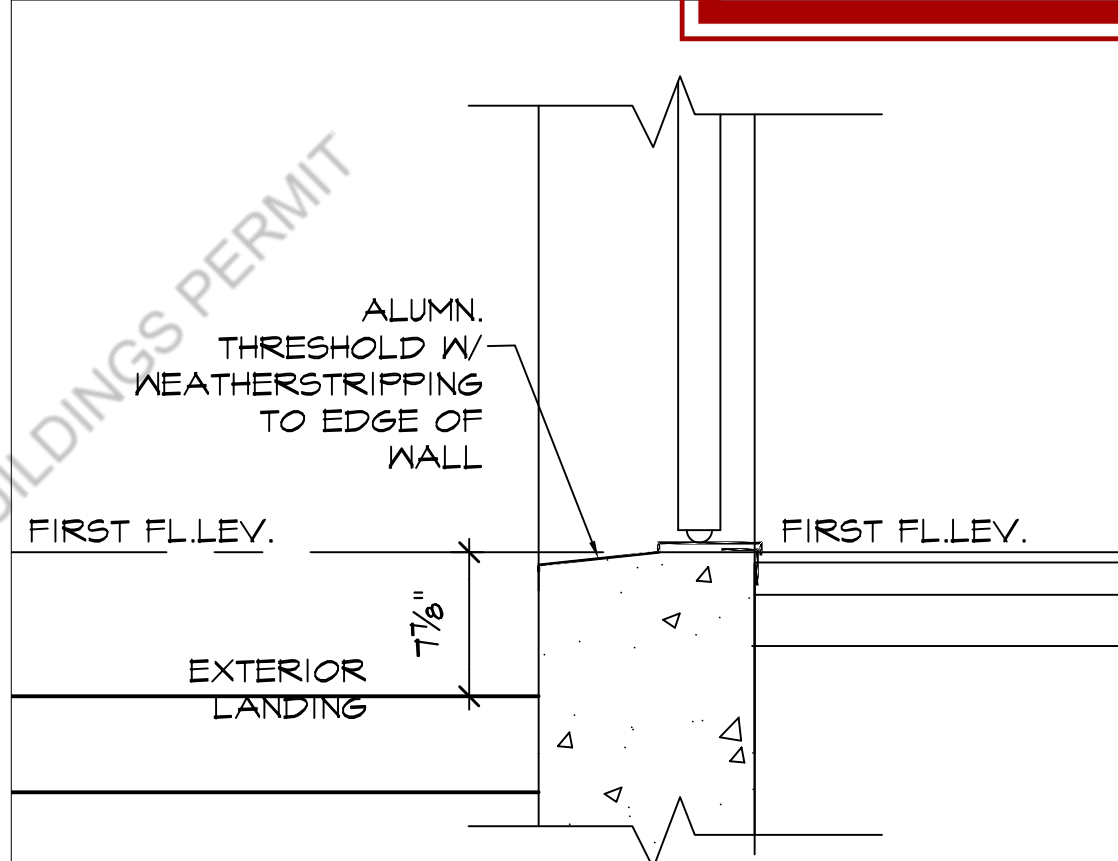
Project No.:	20180044
Drawn By:	SP
Scale:	AS NOTED
Date:	21-08-2023
Drawn By:	SP
Check By:	SP
Issue Date:	11-10-2023
Section:	A4.1

BRICK SOLDIER COURSE WITH WEEP HOLES W/ COVER @24" O/C OVER HEAD FLASHING W/COTTON SWEEPS 32" O.C MAX AND 2 PER DOOR MIN. OVER L-3-1/2"X3-1/2"X1/4" STEEL ANGLE WITH 6" BOTH SIDES OF BRICKS & WOODEN SPRUCE.



SEE AS PER PLAN

FLEXIBLE MEMBRANE FLASHING SEALED TO EX. A/V BARRIER AND METAL FLASHG.



FIRST FL. LEV.

FIRST FL. LEV.

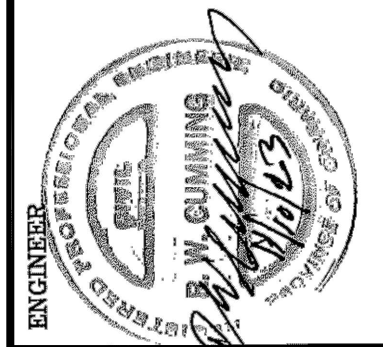
EXTERIOR LANDING

ALUMN. THRESHOLD W/ WEATHERSTRIPPING TO EDGE OF WALL

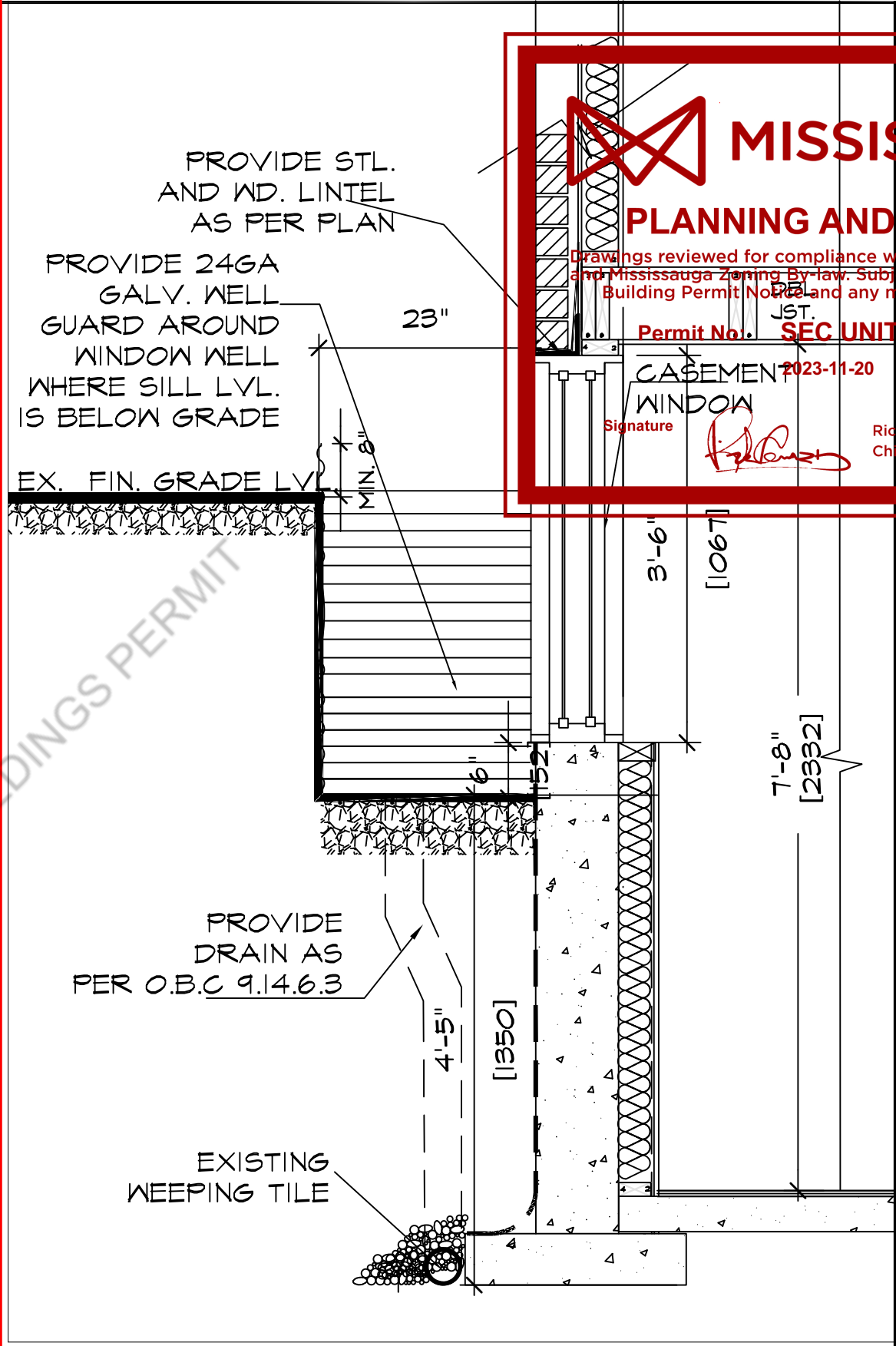
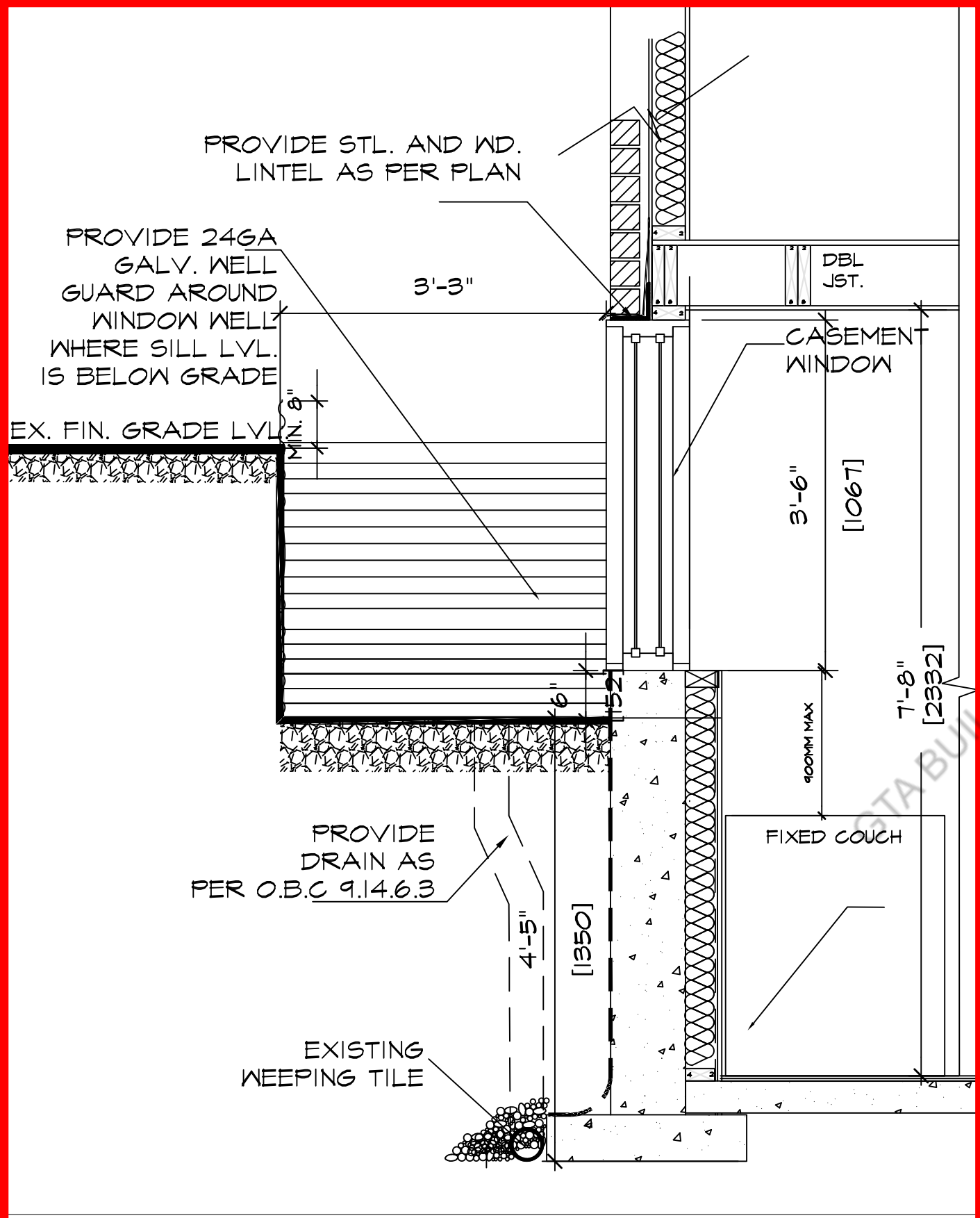
1 SECTION DETAIL-DOOR LINTEL
A4.1 SCALE= 1 1/2" = 1'-0"

2 SECTION DETAIL-DOOR THRESHOLD
A4.1 SCALE= 1 1/2" = 1'-0"

Project
PROPOSED BASEMENT
FINISH PLAN FOR 2ND
DWELLING UNIT AT
3188 SEABRIGHT
DRIVE,
MISSISSAUGA,
ONT. L5M 0B4
Owners:
RAIS KAMRAN
KAMRAN BEENA



ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465
279 MAIN STREET NORTH,
BRAMPTON, ON, L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
e-mail: archisystem@gmail.com



MISSISSAUGA

PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to approval on the Building Permit Notice and any markings thereon.

Permit No. **SEC UNIT 23-9228**

Date: **2023-11-20**

Signature: *[Signature]*

Checked By: *[Signature]*

Revisions:

1	
2	

Project No.	23-9228
Project Name	SECTION DETAIL-2
Drawn By	SF
Checked By	[Signature]
Date	2023-11-20
Scale	AS SHOWN
Drawn No.	
Rev. no.	4
REV. NO.	

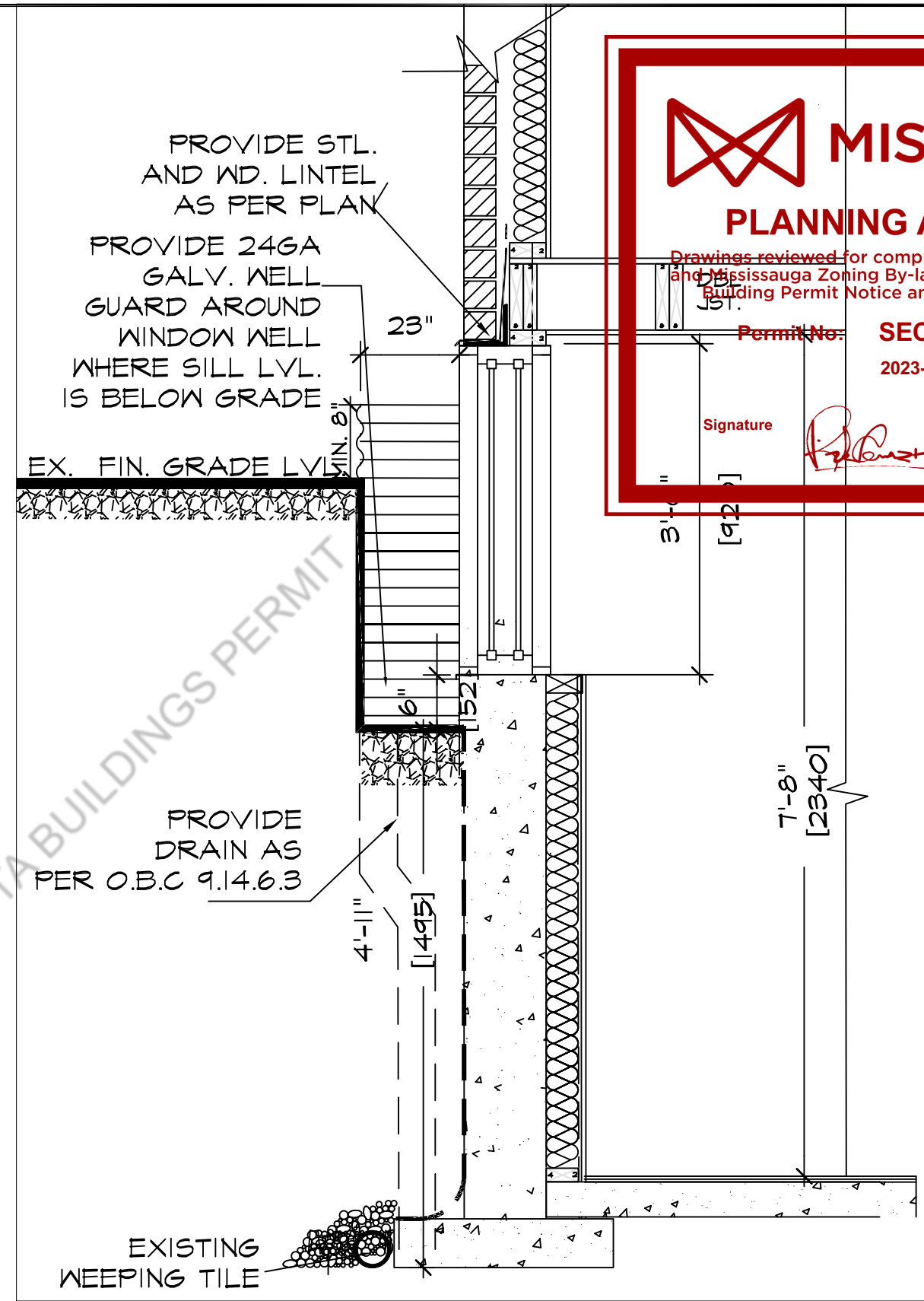
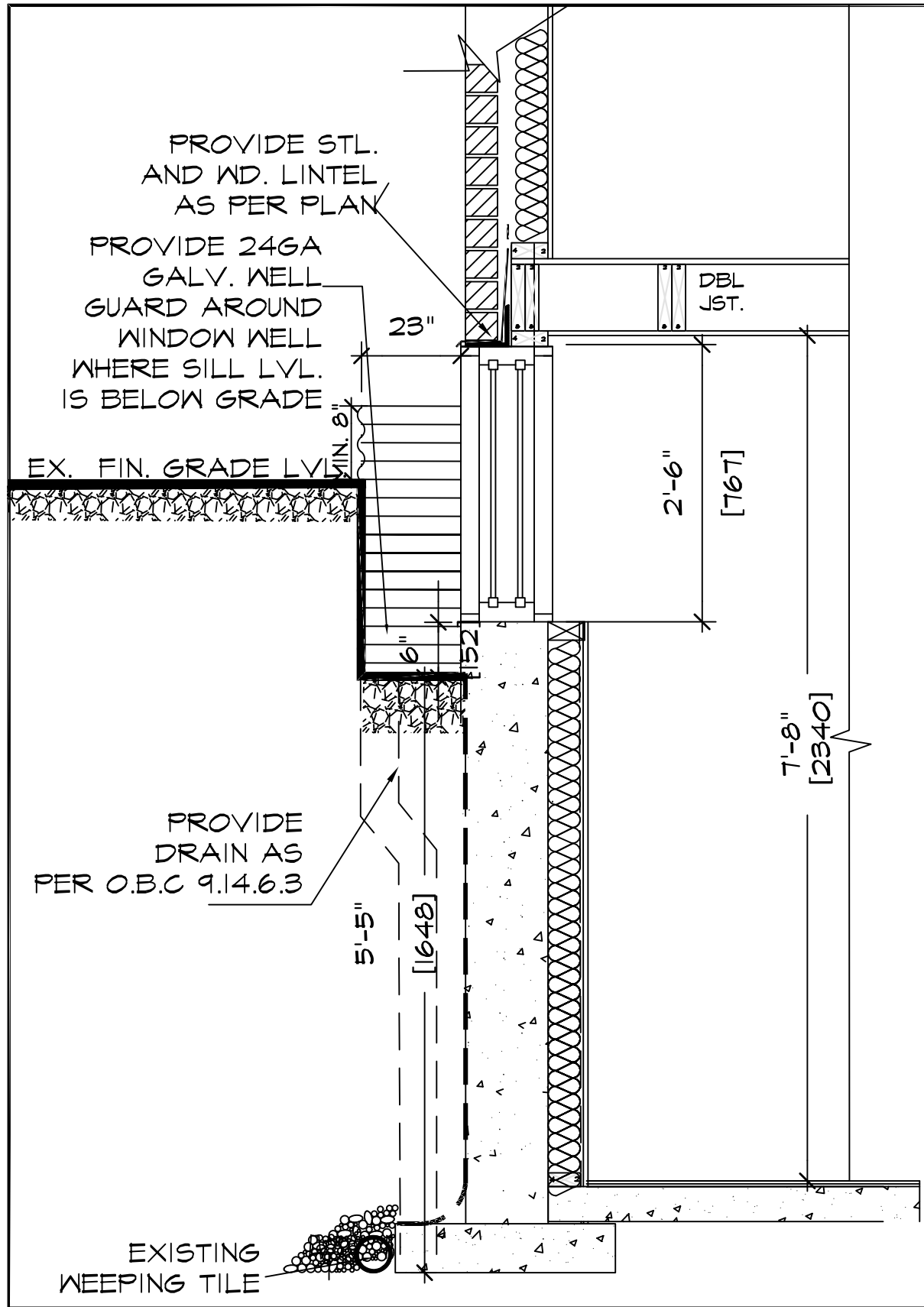
Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4

Owners: RAIS KAMRAN, KAMRAN BEENA



1 SECTION DETAIL-ESCAPE WINDOW
A4.2 SCALE= 3/4" = 1'-0"

1 SECTION DETAIL-EGRESS WINDOW
A4.2 SCALE= 3/4" = 1'-0"



MISSISSAUGA

PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to approval on the Building Permit Notice and any markings thereon.

Permit No. SEC UNIT 23-9228
2023-11-20

Signature: *[Signature]*

Project No. [9228]
Date: 2023-11-20
Drawn By: [Name]
Checked By: [Name]
Revisions: [Table]

Project: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4
 Owners: RAIS KAMRAN, KAMRAN BEENA



1 SECTION DETAIL - BELOW GRADE WINDOW
 A4.3 SCALE= 3/4" = 1'-0"

2 SECTION DETAIL - BELOW GRADE WINDOW
 A4.3 SCALE= 3/4" = 1'-0"

WALL TYPE & NOTES LEGEND

WE EXISTING 8" FOUR CONC. REINFORCED WALL O/S TOWEL APPLIED WATERPROOFING LAYER PROTECTION BOARD INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR FARGING EXISTING R12 BATT INSULATION, 6 MIL POLY AVB

W1 NEW FOUR CONC. 8" THK. BASEMENT WALK-OUT STAIR EXTERIOR WALL WITH WATERPROOFING & PROTECTION BOARD

PE EXISTING N.L.B 4-1/2" PARTITION WALL IN 1/2" G.W.B B/S 2"x4" WD. STUDS @ 16" O/C TAPED, SANDED AND PAINTED.

P1 NEW N.L.B 4-1/2" PARTITION WALL IN 1/2" G.W.B B/S 2"x4" WD. STUDS @ 16" O/C TAPED, SANDED AND PAINTED.

P2 NEW- IHR NON LOAD BEARING F.R PARTITION WALL W/4D SB-3, STUDS SPACED 610 MM, O.C. 12.7 MM TYPE X GYPSUM BOARD, STC-53 NEW N.L.B 4-1/2" PARTITION WALL IN 1/2" G.W.B B/S 2"x4" WD. STUDS @ 610 MM O/C TAPED, SANDED AND PAINTED. PROVIDE WATER-RESISTANT GNB IN WASHROOMS AND WATER-BOURNE AREAS

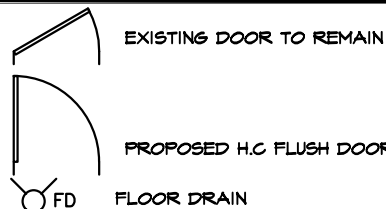
EXISTING WALL TO REMAIN
EXISTING WALL TO BE DEMOLISHED

DOOR/WINDOWS SCHEDULE			
TYPE	SIZE		DESCRIPTION
	WIDTH	HEIGHT	
D1	2'-8"	6'-8"	INTERIOR TYPE paneled DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D2	2'-6"	6'-8"	DO
DM	2'-10"	6'-8"	PROPOSED PREFINISH H.C. INSULATED METAL EXTERIOR TYPE DOOR W/ BOLTED LOCK, ALUM. THRESHOLD AND DOOR STOP
DF	2'-8"	6'-8"	MIN. 20 MIN. FIRE-RATED INTERIOR TYPE DOOR W/ SELF-CLOSING DEVICE. EMERGENCY EXIT TYPE 1/S
DE	EXISTING DOOR TO REMAIN		

WINDOWS SCHEDULE			
TYPE	SIZE		DESCRIPTION
	WIDTH	HEIGHT	
BW	+3'-0"	+3'-6"	EGRESS WINDOW MINIMUM AREA OF UNOBSTRUCTED OPENING NOT LESS THAN 0.33 M ² (4.1 SQ.FT.)
BW1	+2'-3"	+2'-6"	ALUMINUM FRAME THERMOFAN DEL. GLAZED CASEMENT WINDOW PROVIDE INSECT SCREEN AT OPERABLE PANS
BW2	+2'-3"	+3'-0"	
EXW	EXISTING WINDOW TO REMAIN		

LINTEL SCHEDULE		
LINTEL	OPENINGS	
STEEL LINTEL SLI	UPTO 54" OPENINGS	3.5"x3.5"x0.3125"
	UPTO 66" OPENINGS	4.0"x3.5"x0.3125"
WOOD LINTEL LI	UPTO 42" OPENINGS	2-2"x6"
	UPTO 66" OPENINGS	2-2"x8"
	UPTO 78" OPENINGS	3-2"x10"
	UPTO 90" OPENINGS	3-2"x12"

NOTE: PROVIDE MIN. 6" BEARING OF LINTEL AT B/S OF WALL



FE1 NEW HARDWOOD FLOORING, 1/8" THK. FELT OVER EX. LEVELLED CONC. FLOOR SLAB
FE2 CERAMIC TILES. FLOORING
FE3 EX. CONC. FLOORING

CEILING TYPES

C1 PROPOSED 1/2" G.B CEILING MIN. 15M F.R.R W/ SMOOTH PLASTER AT WATER BOURNE AREAS, WITH SAFE & SOUND INSULATION WITH INTERCONNECTED SMOKE ALARMS IN ALL SLEEPING & COMMON AREAS OF ENTIRE HOUSE

ER EXPOSED RAFTERS

W WIRED SMOKE ALARM/ DETECTOR IN COMMON AREAS. USE INTERCONNECTED STROBE TYPE FOR S.A ALL SLEEPING AREAS UNIT MUST CONFORM TO CAN/ULC-5531, CSA-6.19-01 & CAN/ULC-552 & NFPA-72

C.M.A CARBON MONOXIDE ALARM/DETECTOR CONFORMING TO CAN/CSA-6.19 OR UL-2034

EF1 CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT MIN. 50CFM

EF2 CABINET MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT MIN. 200 CFM

R.A HVAC AIR GRILL AT WALL MAX.1'-0" A.F.F

R.A RETURN-AIR GRILL AT MAX. 1'-0" A.F.F

R 120 VOLT DUPLEX RECEPTACLE

R 220 VOLT 20 AMP. OUTLET

R 120 VOLT DUPLEX RECEPTACLE WATERPROOF

R WALL SWITCH

R EMERGENCY LIGHT WITH EXIT SIGN

R CEILING MOUNTED LIGHT

R RECESSED INCANDESCENT POT LIGHT

R MECH. EXHAUST

NOTE: ALL NEW ELECTRICAL SERVICES CONFORMING TO O.B.C.2012 SECTION 9.34

ABBREVIATIONS LEGEND

CL. CLOSET
CLG. CEILING
CONC. CONCRETE
COV. COVERED
DN DOWN
DO DITTO
ELECT. ELECTRICAL
EX. EXISTING
FLR. FLOOR
GALV. GALVANIZED
H.C HOLLOW CORE
HT. HEIGHT
I/S INSIDE
JST. JOIST
MAX. MAXIMUM
MIN. MINIMUM /MINUTE
MNTD. MOUNTED
N.L.B NON-LOAD BEARING
P.F. PRE-FINISHED
STL. STEEL
SQ.M. SQUARE METER
SQ.FT. SQUARE FOOT
WD. WOOD
W.I. WALK IN

SPECIFICATIONS

1. GENERAL REQUIREMENTS

- CONFORM TO REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
 - ALL MATERIALS SHALL BE FURNISHED AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE GRADES, OR STANDARDS OF MATERIALS, STANDARDS OF WORKMANSHIP AND MANUFACTURE'S SPECIFICATIONS LISTED OR MENTIONED.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. CONTRACTOR TO VERIFY STRUCTURE OF WALLS, FLOOR AND CEILING AT NEW ENTRANCES, WINDOWS, CANOPY AND EXTERIOR CLADDING.
 - INSPECT THE EXISTING SITE AND NOTE ANY CONDITIONS WHICH WOULD AFFECT THE WORK. NO CLAIM FOR AN ADDITION TO THE CONTRACT AMOUNT WILL BE CONSIDERED RESULTING FROM FAILURE TO BECOME FAMILIAR WITH ALL, APPARENT EXISTING SITE CONDITIONS.
- UNLESS OTHERWISE SPECIFIED, PROVIDE AND MAINTAIN ALL NECESSARY PROTECTION INCLUDING HOARDING, BARRICADES, WARNING LIGHTS AND SIGNS, BEFORE AND DURING DEMOLITION WORK.
- PROTECT ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND PIPING THAT IS TO REMAIN.
- PROTECT ALL EXISTING FINISH SURFACES WHICH ARE NOT SUBJECT TO DEMOLITION.
 - MAINTAIN PROPER ACCESS TO PREMISES.
 - MAKE GOOD DAMAGE TO SUCH STRUCTURES RESULTING FROM WORK UNDER THIS SECTION AT NO COST TO OWNER.
 - EXERCISE CAUTION IN DISMANTLING OR DISCONNECTING WORK ADJACENT TO EXISTING WORK DESIGNATED TO REMAIN.
 - MAKE GOOD ANY DEMOLITION TO THE EXISTING WORK BEYOND THAT NECESSARY FOR CARRYING OUT NEW WORK, AT NO EXPENSE TO THE OWNER.
 - CARRY OUT DEMOLITION AS SCHEDULED, IN A ORDERLY AND CAREFUL MANNER.
 - AT COMPLETION OF WORK, THE PREMISES SHALL BE LEFT BROOM CLEAN.
 - REPORT TO THE ARCHITECT AND INTERIOR DESIGNER ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS. CONTRACTOR TO MAINTAIN AT THE JOB SITE AN UPDATED SET OF DRAWINGS AND RECORD ANY CHANGES TO BUILDING PERMIT DRAWINGS.

2. SITE WORK

- MAINTAIN PROPER ACCESS TO THE SITE. PROVIDE ADEQUATE PROTECTION TO CURBS, SIDEWALKS AND LIGHTS. MAKE GOOD ANY DAMAGE AT NO COST TO THE OWNER.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, AND SURPLUS MATERIALS RESULTING FROM THE WORK.

3. CONCRETE

- CONCRETE MATERIALS SHALL CONFORM TO REQUIREMENTS OF CAN/CSA A23.1-M90, 266-M78
- BEFORE COMMENCING WORK, ENSURE THAT SURFACES ARE ACCEPTABLE TO RECEIVE AND MAINTAIN CONCRETE FINISHING AND THAT SPECIFIED INSTALLATION WILL BE ACHIEVED.
- PATCHING CONCRETE SHALL BE THOROUGHLY COMPACTED INTO PLACE AND FINISHED IN SUCH A MANNER AS TO MATCH ADJOINING CONCRETE. RUB DOWN TO GIVE UNIFORM, SMOOTH, FLUSH, MONOLITHIC SURFACE FREE OF ALL DEFECTS IN APPEARANCE TO ARCHITECTS APPROVAL.

4. MASONRY

- MAINTAIN DIMENSIONS, LINES AND LEVELS OF EXISTING WORK.
 - TAKE SPECIAL CARE OF ERECTING BLOCK WALLS TO WHICH OTHER SECTIONS WILL APPLY FINISHES, TO ENSURE TOLERANCES REQUIRED OF FOLLOWING SECTIONS CAN BE MET WITH REASONABLE CONSTRUCTION PROCEDURES (E.G. THIN SET APPLICATION OF GRANITE TILES.)
 - ALL MASONRY SHALL BE PATCHED AND REPAIRED USING METHODS AND MATERIALS TO MATCH EXISTING WORK.
5. METALS
- CONFORM TO REQUIREMENTS OF CAN/CSA-G40.21 & M92 (HOT DIP GALV. PARTS)
 - WORK TO BE EXECUTED BY FIRM THOROUGHLY FAMILIAR WITH LAWS, BY-LAWS AND REGULATIONS WHICH GOVERN, AND CAPABLE OF WORKMANSHIP OF BEST GRADE AND FIELD PRACTISE KNOWN TO BE RECOGNIZED MANUFACTURE'S SPECIALIZING IN THIS WORK.

PAINT PRIMER TO BE ZINC CHROMATE CONFORMING TO CGSB 1-6P-40D. FINISH COLOUR TO BE AS PER APPROVED SAMPLE BY INTERIOR DESIGNER.

DUCT TYPE SMOKE DETECTOR

THE AIR DUCT SMOKE DETECTOR SHALL BE A SYSTEM SENSOR INNOVAIRFLEX DNR OR EQ. INTELLIGENT NON-RELAY PHOTOELECTRIC DUCT SMOKE DETECTOR AND DNRW WATERTIGHT NEMA4 DUCT SMOKE DETECTOR. THE DETECTOR HOUSING SHALL BE UL LISTED PER UL 268A SPECIFICALLY FOR USE IN AIR HANDLING SYSTEMS. THE FLEXIBLE HOUSING OF THE DUCT SMOKE DETECTOR FITS BOTH SQUARE AND RECTANGULAR FOOTPRINTS. THE DETECTOR SHALL OPERATE AT AIR VELOCITIES OF 100 FT/MIN TO 4000 FT/MIN (0.5 M/SEC TO 20.32 M/SEC). THE UNIT SHALL BE CAPABLE OF PROVIDING A TROUBLE SIGNAL IN THE EVENT THAT THE SENSOR COVER IS REMOVED OR IMPROPERLY INSTALLED. IT SHALL BE CAPABLE OF LOCAL TESTING VIA MAGNETIC SWITCH OR REMOTE TESTING USING THE RTS451KEY/RTS151KEY REMOTE TEST STATION. TERMINAL CONNECTIONS SHALL BE OF THE STRIP AND CLAMP METHOD SUITABLE FOR 12-18 AWG WIRING. ELECTRICAL RATINGS THE INNOVAIRFLEX SAMPLING TUBE MAY BE INSTALLED FROM THE FRONT OR BACK OF THE DETECTOR. THE TUBE LOCKS SECURELY INTO PLACE AND CAN BE REMOVED BY RELEASING THE FRONT OR REAR LOCKING TAB.

6. WOOD AND PLASTICS

- MATERIALS SHALL BE CAREFULLY CHECKED, UNLOAD, BE STORED AND HANDLED TO PREVENT DAMAGE. PROTECT MATERIALS WITH SUITABLE NON-FLAMING WATERPROOF COVERING.
 - SUPPLY ALL LABOUR MATERIAL EQUIPMENT, SERVICES AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE ALL ROUGH CARPENTRY WORK, TO THE FULL INTENT OF THE DRAWINGS AND AS HEREIN SPECIFIED.
 - ALL INTERIOR ROUGH CARPENTRY APPLIED TO WALLS, FLOORS AND CEILINGS TO HAVE A FLAME SPREAD RATING OF 150 OR LESS.
7. THERMAL AND MOISTURE PROTECTION
- MAINTAIN EXISTING LEVELS OF INSULATION.
 - ALL MATERIALS AND METHODS USED IN APPLICATION SHALL BE IN ACCORDANCE WITH THE PRINTED INSTRUCTIONS OF THE MANUFACTURER.
 - INSTALL INSULATION TO MAINTAIN CONTINUITY OF THERMAL PROTECTION THROUGH BUILDING ELEMENTS AND SPACES.
 - INSTALL LOOSE INSULATION IN LOCATIONS AND THICKNESS SHOWN, AND FOR PACKING WHERE REQUIRED TO MAINTAIN THE INTEGRITY OF THE THERMAL BARRIER. SEAL JOINTS TO PREVENT THE TRANSFER OF MOISTURE.
 - SEALANTS AND COLOURS TO BE SELECTED BY INTERIOR DESIGNER.
 - CLEAN JOINTS AND SPACES TO BE CAULKED AND ENSURE THEY ARE DRY AND FREE OF DUST, LOOSE CLEAN FERROUS MATERIALS OR ROOTS, NAILS, SCALF AND FOREIGN MATERIALS BY WIRE BRUSHING, GRINDING OR SANDING.
 - UPON COMPLETION, REMOVE MASKING AND SEALANT SMEARS AND DROPPINGS FROM ADJACENT AND OTHER SURFACES.
 - PATCH AND REPAIR EXISTING WORK, REQUIRED DUE TO THE WORK OF THE CONTACT. USE THE EXACT SAME METHODS AND MATERIALS TO MATCH THE EXISTING WORK. WHERE IT IS NOT POSSIBLE, SUBMIT PROPOSALS TO THE INTERIOR DESIGNER FOR APPROVAL.

8. DOORS AND WINDOWS

STEEL DOORS AND FRAMES:

- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS, SHOW EACH TYPE OF FRAME, DOOR, HARDWARE BLANKING, REINFORCING TAPPING AND DRILLING ARRANGEMENTS, METAL GAUGES, THICKNESS AND FINISHES. SUBMIT DOOR AND FRAME SCHEDULE IDENTIFYING EACH UNIT. APPROVAL TO BE MADE BY INTERIOR DESIGNER.

WOOD DOORS AND FRAMES:

- MANUFACTURE SOLID CORE VENEERED AND PLASTIC LAMINATED FACED WOOD DOORS TO ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA LATEST REVISIONS, FOR PREMIUM GRADE SPECIALTY DOORS.
- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS ILLUSTRATING DOOR CONSTRUCTION FOR THE INTERIOR DESIGNER TO REVIEW.

9. FINISHES

GYPSUM WALLBOARD:

- EXECUTE THE GYPSUM WALLBOARD WORK COMPLETE IN ALL RESPECTS AND FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP AFFECTING APPEARANCE AND PERFORMANCE.
- EXAMINE AND CO-ORDINATE WORK WITH THE OTHER TRADES AND ENSURE THAT ANCHORS, GROUNDS, ELECTRICAL CONDUIT, WIRING AND MECHANICAL WORK, WHICH IS TO BE INSTALLED IN OR BEHIND WORK UNDER THIS CONTRACT HAS BEEN INSTALLED, TESTED AND APPROVED.
- CONFORM TO CURRENT C.S.A. STANDARDS A82.30 AND A82.31, EXCEPT AS SPECIFIED OTHERWISE HEREIN.
- FINISHED GYPSUM WALLBOARD SURFACES SHALL BE TRUE PLANES WITHIN 1/8 INCH WHEN CHECKED WITH 12 FEET STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE. SURFACES SHALL BE FREE FROM WAVES, IRREGULATIONS AND OTHER DEFECTS. VERTICAL SURFACES, PLUMB AND TRUE TO LINE, HORIZONTAL SURFACES LEVEL.

MISSISSAUGA

PLANNING AND BUILDING

Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to approval on the Building Permit Notice and any marked conditions thereon.

Project No. 2023-11-20
Date: 2023-11-20
City of Mississauga
Sec Unit 23-9228

Project title: PROPOSED BASEMENT FINISH PLAN FOR 2ND DWELLING UNIT AT 3188 SEABRIGHT DRIVE, MISSISSAUGA, ONT. L5M 0B4

Drawn By: RAIS KAMRAN

Revisions: KAMRAN BEENA



9.33.3.2. Outdoor Design Temperatures

(1) The outdoor conditions to be used in designing heating, ventilating and air-conditioning systems shall be the appropriate values for the location as set out in MAAH Supplementary Standard SB-1, "Climatic and Seismic Data" using 2.5 percent design temperature criteria.

9.33.4. Carbon Monoxide Alarms (See Appendix A.)

9.33.4.1. Application

- (1) This Subsection applies to every building that,
 - (a) contains a residential occupancy, and
 - (b) contains a fuel-burning appliance or a storage garage.

9.33.4.2. Location of Carbon Monoxide Alarms

- (1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
- (2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon monoxide alarm shall be installed,
 - (a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
 - (b) in the service room.
- (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.
- (4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
- (5) A carbon monoxide alarm shall be mechanically fixed,
 - (a) at the manufacturer's recommended height, or
 - (b) in the absence of specific instructions, on or near the ceiling.

9.33.4.3. Installation and Conformance to Standards

- (1) The carbon monoxide alarm required by Article 9.33.4.2. shall,
 - (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm,
 - (b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy,
 - (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
 - (d) conform to,
 - (i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or
 - (ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".
- (2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.



MISSISSAUGA

PLANNING AND BUILDING

Permits reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown thereon

Permit No: SEC UNIT 23-9228

2023-11-20

Signature



Rick Conard
Chief Building Official

Table 11.5.1.1.C. (Cont'd)
 Compliance Alternatives for Residential Occupancies
 Forming Part of Article 11.5.1.

MISSISSAUGA

NUMBER	PART 9 REQUIREMENT	PART 11 COMPLIANCE ALTERNATIVE
C129	9.9.6.5.	Existing door swings acceptable. Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning by law, subject to scope noted on the official Building Permit Notice and any markups shown thereon Permit No: SEC UNIT 23-9228
C130	9.9.6.6.(1)	Where exit doors open onto a landing, they shall not extend beyond the face of the first riser.
C131	9.9.6.8.	Existing functionally operable passage or panic hardware acceptable.
C132	9.9.7.4.(1)(a)	Maximum area of existing room or suite does not apply.
C133	9.9.7.5.	Except as provided in C.A. C136, in detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the Code
C134	9.9.8.2.(1)	Existing travel distance acceptable where floor area is sprinklered and provided fire separations comply with Part 9.
C135	9.9.8.5.	In a building containing not more than four dwelling units or suites, existing glazed solid wood doors to lobby may remain in lieu of new 20 minute doors, provided the fire separations for the floor above or below are provided as per C.A. C147, and a second means of egress from the dwelling units complies with the Code requirements.
C136	9.9.9.	In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists: (a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19., (b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or (c) access to an exit from one dwelling unit which leads through another dwelling unit where, (i) an additional means of escape is provided through a window that conforms to the following: (A) the sill height is not more than 1 000 mm above or below adjacent ground level, (B) the window can be opened from the inside without the use of tools, (C) the window has an individual unobstructed open portion having a minimum area of 0.38 m ² with no dimension less than 460 mm, (D) the sill height does not exceed 900 mm above the floor or fixed steps,
Column 1	2	3

Table 11.5.1.1.C. (Cont'd)
 Compliance Alternatives for Residential Occupancies
 Permitting Part 9 Article 11.5.1.

MISSISSAUGA

**PART 11 COMPLIANCE ALTERNATIVE
 PLANNING AND BUILDING**

(E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
 Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the

(F) ~~Smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and are interconnected,~~

(ii) an additional means of escape is provided through a window that conforms to the following:
 Permit No: SEC UNIT 23-9228
 2023-11-20

(A) a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,

(B) the sill height of the window is not more than 3 m above adjacent ground level, and
 Signature: Rick Conrad, Chief Building Official

(C) ~~smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and are interconnected, or~~

(iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

NUMBER	PART 9 REQUIREMENTS	
C136 (Cont'd)	9.9.9.	(E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the (F) Smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and are interconnected, (ii) an additional means of escape is provided through a window that conforms to the following: Permit No: SEC UNIT 23-9228 2023-11-20 (A) a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor, (B) the sill height of the window is not more than 3 m above adjacent ground level, and Signature: Rick Conrad, Chief Building Official (C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.
C137	9.9.10.1.	In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, existing acceptable, where there is direct access to the exterior.
C138	9.9.11.	In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the requirements under this Subsection do not apply.
C139	9.9.11.3.	Existing illuminated legible signs are acceptable for exit signs, if approved by chief building official.
C140	9.9.12.	In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the requirements under this Subsection apply only where the condition described in (b) of C.A. C136 exists.
C141	9.10.1.1.	Assemblies required to be of noncombustible construction may be supported by combustible construction having at least the same fire-resistance rating as that supported.
C142	9.10.1.3.(8) to (10)	Existing installations acceptable subject to C.A.'s C26, C27 and C28.
C143	9.10.3.	Fire-resistance ratings may also be used where they are based on: 1. HUD Rehabilitation Guidelines, "Guideline on Fire Ratings of Archaic Materials and Assemblies". 2. DBR Technical Paper No. 194, "Fire Endurance of Protected Steel Columns and Beams". 3. DBR Technical Paper No. 207, "Fire Endurance of Unit Masonry Walls". 4. DBR Technical Paper No. 222, "Fire Endurance of Light-Framed and Miscellaneous Assemblies".
C144	9.10.5.1.	(a) Existing openings in existing wall or ceiling membranes to remain. (b) Existing openings may be moved to another location in the same wall or ceiling, provided the aggregate area of openings does not increase and are not cumulative, and the existing opening is blocked up to provide the same rating as the existing wall or ceiling assembly.
C145	9.10.6.2.	Existing heavy timber construction acceptable where construction is within 90% of member sizes listed in Part 3.
Column 1	2	3

Table 11.5.1.1.C. (Cont'd)
Compliance Alternatives for Residential Occupancies
Forming Part of Article 11.5.1.1

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NUMBER	PART 9 REQUIREMENTS	PART 11 COMPLIANCE ALTERNATIVE
C146	9.10.7.	Existing acceptable for <i>heritage buildings</i> , subject to approval of chief building official. <i>Drawings reviewed for compliance with Ontario Building Code</i>
C147	9.10.8.1.; 9.10.8.3.; 9.10.8.4.	<p>(a) Except as provided in (b) and (c), 30 min fire separation is acceptable on the Building Permit Notice and any markups shown thereon</p> <p>(b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,</p> <p>(i) <i>smoke alarms</i> are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and</p> <p>(ii) <i>smoke alarms</i> are interconnected.</p> <p>(c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the fire</p> <p style="text-align: center;">Permit No. SEC-UNI 23-9228 2023-11-20 Rick Conard</p>
C148	9.10.9.7.; 9.10.9.9.	Existing acceptable in existing fire separations.
C149	9.10.9.10.(1)	Ceiling fire separation need not have a fire-resistance rating where sprinklering, subject to C.A. C27, of fire compartments on both sides of vertical fire separation is provided and where such fire separation is not required to exceed 1 h.
C150	9.10.9.11.(1)	Except for hotels, 30 min fire separation acceptable.
C151	9.10.9.11.(2)	In lieu of the 2 h fire separation, sprinklers may be used in the mercantile occupancy or medium hazard industrial occupancy, with a 1 h fire separation.
C152	9.10.9.14.(1) and (3); 9.10.9.15.(1)	<p>(a) Except as provided in (b) and (c), 30 min fire separation is acceptable.</p> <p>(b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,</p> <p>(i) <i>smoke alarms</i> are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and</p> <p>(ii) <i>smoke alarms</i> are interconnected.</p> <p>(c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the fire separation is waived where the building is sprinklered.</p>
C153	9.10.10.3.	<p>(a) Except as provided in (b) and (c) and in Articles 9.10.10.5. and 9.10.10.6., 30 min fire separation is acceptable.</p> <p>(b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the vertical fire separation is waived where,</p> <p>(i) <i>smoke alarms</i> are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and</p> <p>(ii) <i>smoke alarms</i> are interconnected.</p> <p>(c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the vertical fire separation is waived where service rooms are sprinklered.</p>
C154	9.10.11.2.(1)	In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, a party wall with 1 h fire-resistance rating is acceptable.
Column 1	2	3

9.10.18.10. Commissioning of Life Safety and Fire Protection Systems

r11.1 (1) Where fire protection and life safety systems, and systems with fire protection and life safety functions, are integrated with each other, the systems shall be tested as a whole in accordance with CAN/ULC-S1001, "Integrated Systems Testing of Fire Protection and Life Safety Systems" to verify that the systems have been properly integrated.

(2) Sentence (1) does not apply to a *building* that contains only *dwelling units* in compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown thereon

9.10.19. Smoke Alarms

e3 9.10.19.1. Required Smoke Alarms (See Appendix A.)

r11.1 (1) Except as permitted in Article 9.10.19.8., *smoke alarms* conforming to CAN/ULC-S553, "Smoke Alarms", shall be installed in,

- each *dwelling unit*,
- each sleeping room not within a *dwelling unit*, and
- each interior shared *means of egress* and common area in a *house*.

r5 (2) *Smoke alarms* required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".

r5 (3) The visual signalling component required in Sentence (2) need not,

- be integrated with the *smoke alarm* provided it is interconnected to it,
- be on battery backup, or

r11.1 (c) have synchronized flash rates, when installed in a *house* or an individual *dwelling unit*.

r5 (4) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.

r5 (5) *Smoke alarms* required in Sentence (1) shall be installed on or near the ceiling.

9.10.19.2. Sound Patterns of Smoke Alarms

e7 (1) The sound patterns of *smoke alarms* shall,

- meet the temporal patterns of *alarm signals*, or (See A-3.2.4.20.(2) in Appendix A.)
- be a combination of temporal pattern and voice relay.

e3 9.10.19.3. Location of Smoke Alarms (See Appendix A.)

r11.1 (1) Except as permitted in Article 9.10.19.8., within *dwelling units*, sufficient *smoke alarms* shall be installed so that,

- there is at least one *smoke alarm* installed on each *storey*, including *basements*, and
- on any *storey* of a *dwelling unit* containing sleeping rooms, a *smoke alarm* is installed,
 - in each sleeping room, and
 - in a location between the sleeping rooms and the remainder of the *storey*, and if the sleeping rooms are served by a hallway, the *smoke alarm* shall be located in the hallway.

(See Appendix A.)

r11.1 (2) Except as permitted in Article 9.10.19.8., within a *house* that contains an interior shared *means of egress* or common area, a *smoke alarm* shall be installed in each shared *means of egress* and common area.

r6 (3) A *smoke alarm* required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of Smoke Alarms".



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Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown thereon

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2023-11-20

Signature

Rick Conard

Chief Building Official

- r6 (4) A *smoke alarm* required in Sentences (1) and (2) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".
- r6 (5) The visual signalling components required in Sentence (4) need not,
 - (a) be integrated with the *smoke alarm* provided it is interconnected to it,
 - (b) be on battery backup, or
 - (c) have synchronized flash rates, when in use.
- r6 (6) The luminous intensity for visual signalling components required in Sentence (4) that are installed in sleeping rooms shall be a minimum of 175 cd.
- r6 (7) *Smoke alarms* required in Sentences (1) and (2) shall be installed on or near the ceiling.



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Drawings reviewed for compliance with Ontario Building Code and Mississauga Zoning By-law. Subject to scope noted on the Building Permit Notice and any markups shown thereon

Permit No: SEC UNIT 23-9228

2023-11-20

Signature  Rick Conard
Chief Building Official

9.10.19.4. Power Supply

- r6 (1) Except as provided in Sentences (2) and (3), *smoke alarms* required in Sentences 9.10.19.1 (1) and 9.10.19.3 (1) shall,
 - (a) be installed with permanent connections to an electrical circuit,
 - (b) have no disconnect switch between the overcurrent device and the *smoke alarm*, and
 - (c) in case the regular power supply to the *smoke alarm* is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the *smoke alarm* for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.
- (2) Where the *building* is not supplied with electrical power, *smoke alarms* are permitted to be battery operated.
- (3) *Suites of residential occupancy* are permitted to be equipped with *smoke detectors* in lieu of *smoke alarms*, provided the *smoke detectors*,
 - (a) are capable of independently sounding audible signals within the individual *suites*,
 - (b) except as provided by Sentence (4), are installed in conformance with CAN/ULC-S524, "Installation of Fire Alarm Systems", and
 - (c) form part of the fire alarm system.
- (4) *Smoke detectors* permitted to be installed in lieu of *smoke alarms* as provided in Sentence (3) are permitted to sound localized alarms within individual *suites*, and need not sound an alarm throughout the rest of the *building*.

9.10.19.5. Interconnection of Smoke Alarms

- (1) Where more than one *smoke alarm* is required in a *dwelling unit*, the *smoke alarms* shall be wired so that the activation of one alarm will cause all alarms within the *dwelling unit* to sound.

9.10.19.6. Silencing of Smoke Alarms

- r6 (1) Except as permitted in Sentence (2), a manually operated device shall be incorporated within the circuitry of a *smoke alarm* installed in a *house* or an individual *dwelling unit* so that the signal emitted by the *smoke alarm* can be silenced for a period of not more than 10 min, after which the *smoke alarm* will reset and sound again if the level of smoke in the vicinity is sufficient to reactuate it.
- (2) *Suites of residential occupancy* equipped with *smoke detectors* installed to CAN/ULC-S524, "Installation of Fire Alarm Systems", which are part of the fire alarm system in lieu of *smoke alarms* as permitted in Sentence 9.10.19.4.(3), need not incorporate the manually operated device required in Sentence (1).

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TENTH LINE
REGISTERED
BLOCK 200

PART 27
PLAN 43R-20340

PART 29
PLAN 43R-20340

SEABRIGHT DRIVE
DEDICATED BY REGISTERED PLAN 43M-1702

MONUMENTATION USED TO RE-ESTABLISH THE BOUNDARIES OF THE LOTS SHOWN ARE REFERENCE POINTS 128 & 74000 WHICH ARE ON RECORD WITH J.D. BARNES LIMITED

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN SHOWING
LOTS 134, 135 AND 136
REGISTERED PLAN 43M-1702
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:250

J. D. BARNES LIMITED
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METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2 - SURVEY REPORT

- DESCRIPTION
LOTS 134, 135 AND 136, REGISTERED PLAN 43M-1702
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
LOT 134 IS SUBJECT TO AN EASEMENT FOR ENTRY AS SET OUT IN INST. No. PR1114638
LOT 135 IS SUBJECT TO AN EASEMENT FOR ENTRY AS SET OUT IN INST. No. PR1114639
LOT 136 IS SUBJECT TO AN EASEMENT FOR ENTRY AS SET OUT IN INST. No. PR1114640
- ADDITIONAL REMARKS
PLAN PREPARED FOR GREAT GULF HOMES

NOTES

BEARINGS ARE GRID BEARINGS AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF SEABRIGHT DRIVE AS SHOWN ON REGISTERED PLAN 43M-1702, HAVING A BEARING OF N 38°27'50" E.

- DENOTES SURVEY MONUMENT SET
- B DENOTES IRON BAR
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- P DENOTES PORCH

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 13th DAY OF NOVEMBER, 2006.

DATE JUNE 4, 2007
David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

1654031



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29



J. D. BARNES

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JUNE 1

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